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Ordinance No. 3196 Summary

On November 8, 2022 the City of Paola, Kansas, adopted Ordinance No. 3196, amending Chapter 4. Buildings and Construction, Article 2. Building Codes of the Code of the City of Paola, Kansas, 2021, incorporating by reference the 2018 International Building Code, excepting only such parts or portions thereof as are specifically deleted or amended by this ordinance and including such new and additional provisions added to said code by this ordinance. A complete copy of this ordinance may be obtained or viewed free of charge at the Office of the City Clerk at City Hall, 19 E Peoria Street or at www.cityofpaola.com. This summary is certified by Lee H. Tewiler, Paola City Attorney pursuant to K.S.A. 12-3001, et seq.

ORDINANCE NO. 3196

AN ORDINANCE REGULATING THE BUILDING CODES IN THE CITY OF PAOLA INCORPORATING BY REFERENCE THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE.

Be it ordained by the City Council of the City of Paola as follows:

Section 1. That Chapter 4. Buildings and Construction, Article 2. Building Codes of the Code of the City of Paola, Kansas, 2021, is hereby amended to read as follows:

4-201. Incorporation of International Building Code (2018); Amendments and Deletions.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the City of Paola, the 2018 International Building Code dated August 31, 2017, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2018 International Building Code shall be marked "Official Copy as Adopted by Ordinance No. 3005", to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

All references within the model codes to any building, electrical, gas, mechanical, plumbing, sewage disposal, elevator, energy conservation, or existing building code shall be construed to be a reference to the respective building, electrical, gas, mechanical, plumbing, sewage disposal, elevator, energy conservation, or existing building code specifically adopted by reference.

- (1) International Building Code—appendices adopted. The following appendices are adopted as part of the International Building Code.
 - (A) Appendix A—Employee Qualifications.
 - (B) Appendix B—Board of Appeals
 - (C) Appendix C—Group U, Agricultural Buildings (as referenced).
 - (D) Appendix E—Supplementary Accessibility Requirements (as referenced).
 - (E) Appendix G—Flood Resistant Construction.
 - (F) Appendix H—Signs (as amended).
 - (G) Appendix I—Patio Covers.
 - (H) Appendix J—Grading (as amended).
 - (I) Appendix K—ICC Electrical Code (as amended and as referenced).
- (2) International Building Code— appendices deletions. The following Chapters, Sections and Subsections of the 2018 Edition of the International Building Code are hereby **deleted**.
 - (A) G103.7. (Alterations in coastal areas.)
 - (B) G105. (Variances)
 - (C) G201. (Flood Resistant - Construction Definitions)
 - (D) H101. (Signs)
 - (E) H102. (Signs - Definitions)
 - (F) H107.1.2, H107.1.3. (Electric Sign Faces, Area Limitation)
 - (G) H108. (Animated Devices)
 - (H) H109. (Ground Signs)
 - (I) H111.1. (Wall Signs - Materials)
 - (J) H113.1. (Marquee Signs - Materials)
 - (K) H114. (Portable Signs)
- (3) International Building Code—amendments. The following Chapters, Sections and Subsections of the 2018 Edition of the International Building Code are hereby **amended** as follows.
 - (A) 101.1 Title. These regulations shall be known as the Building Code of the City of Paola, Kansas, hereinafter referred to as “this code”.

- (B) 101.4.1 Electrical. The provisions of the NFPA 70 National Electrical Code, 2017 shall apply to the installation of electrical systems, including alterations, repairs, replacement equipment, appliances, fixtures, fittings and appurtenances thereto. (write does not exist but will follow)
- (C) 102.6 Existing Structures. The legal occupancy of any structure existing on the date of adoption of this code shall be permitted to continue without change, except as it specifically covered in this code or as is deemed necessary by the Code Official for the general safety and welfare of the occupants and the public.
- (D) Added to Section 104.1:Deputies. In accordance with the prescribed procedures of this jurisdiction and with the concurrence of the appointing authority, the Code Official shall have the authority to appoint a deputy Code Official, the related technical officers, inspectors, plan examiners and other employees. Such employees shall have powers as delegated by the Code Official.
- (E) 104.10 Modifications. Wherever there are practical difficulties involved in carrying out the provisions of this code, the Building Official shall have the authority to grant modifications for individual cases, upon application of the owner or owner's representative, provided the Code Official shall first find that special individual reason makes the strict letter of this code impractical and the modification is in compliance with the intent and purpose of this code and that such modification does not lessen health, accessibility, life and fire safety or structural requirements. If such requested modification involves fire apparatus, emergency access drives, fire suppression and/or fire alarm systems, then the modification must also be approved by the fire plan reviewer. The details of action granting modifications shall be recorded and entered in the files of building inspection.
- (F) 105.1 Required. Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done shall first make application to the Code Official and obtain the required permit. An original letter of intent from all contractors listed on permit stating that they will be performing work on said project shall be submitted prior to issuance of a building permit.
- (G) 105.2 Work exempt from permit. Exemptions from permit requirements of this code shall not be deemed to grant authorization for any work to be done in any manner in violation of the provisions of this code or any other laws or ordinances of this jurisdiction. Permits shall not be required for the following:

Permits Not Required:

BUILDING:

- (1) Retaining walls that are not over three (3) feet in height measured from the bottom of the footing to the top of the wall, unless supporting a surcharge.

- (2) Painting, papering, tiling, carpeting, cabinets, counter tops and similar finish work.
- (3) Prefabricated swimming pools that are less than twenty-four (24) inches (610 mm) deep and do not exceed five thousand (5000) gallons (18,927 L).
- (4) Swings and other playground equipment accessory to detached one- and two-family dwellings.
- (5) Non Fixed and movable fixtures, cases, racks, counter and partitions not over 5 feet 9 inches (1753 mm) in height
- (6) Repairing of Roof shingles if below 3 square

ELECTRICAL:

- (1) Repairs and maintenance. A permit shall not be required for minor repair work, including the replacement of fixtures or the connection of approved portable electric equipment to approved permanently installed receptacles.

GAS:

- (1) Portable heating appliance.
- (2) Replacement of any minor part that does not alter approval of equipment or make such equipment unsafe.

MECHANICAL:

- (1) Portable heating appliance; cooking or clothes drying appliances.
- (2) Portable ventilation appliances such as listed fans, space heaters or similar appliances.
- (3) Portable cooling units.
- (4) Steam, hot or chilled water piping within any heating or cooling equipment regulated by this code that does not alter approval of equipment or make such equipment unsafe.
- (5) Replacement of any minor part that does not alter the approval of equipment or make such equipment unsafe.
- (6) Portable evaporative cooler.
- (7) Self-contained refrigeration systems containing five (5) pounds (2.27 kg) or less of refrigerant or that are actuated by motors of one (1) horsepower (746 W) or less unless the unit is of portable design.
- (8) Portable fuel cell appliances that are not connected to a fixed piping system and are not interconnected to a power grid.

PLUMBING:

- (1) The stopping of leaks in drains, water, soil, waste or vent pipe; provided however, that if any concealed trap, drain pipe, water, soil, waste or vent pipe becomes defective and it becomes necessary to remove and replace the same with new material, such work shall be considered as new work and a permit shall be obtained and inspection made as provided in this code.
- (2) The clearing of stoppages or the repairing of leaks in pipes, valves or fixtures and the removal and reinstallation of water closets, provided such repairs do not involve or require the replacement or rearrangement of valves, pipes or fixtures.

EMERGENCY REPAIRS: Where equipment replacements and repairs must be performed in an emergency situation, the permit application shall be submitted within the next working business day to the Code Official.

REPAIRS: Application or notice to the Code Official is not required for ordinary repairs to structures, replacement of lamps or the connection of approved portable electrical equipment to approved permanently installed receptacles. Such repairs shall not include the cutting away of any wall, partition or portion thereof, the removal or cutting of any structural beam or load-bearing support or the removal or change of any required means of egress or rearrangement of parts of a structure affecting the egress requirements; nor shall ordinary repairs include addition to, alteration of, replacement or relocation of any standpipe, water supply, sewer, drainage, drain leader, gas, soil, waste, vent or similar piping, electric wiring or mechanical or other work affecting public health or general safety.

PUBLIC SERVICE AGENCIES: A permit shall not be required for the installation, alteration or repair of generation, transmission, distribution or metering or other related equipment that is under the ownership and control of public service agencies by established right.

(H) 105.3.1 Application for demolition permit.

- (1) To obtain a fifteen (15) day complete structure demolition permit, the applicant shall first file an application therefore in writing on a form furnished by the Code Official for that purpose. Such application shall provide:
 - (a) A site plan showing the location of the building or structure to be demolished and of all existing buildings on the property. The plan shall additionally show any necessary means of pedestrian protection as required by the Paola Building Code.
 - (b) The location where the demolition debris will be deposited.
 - (c) The height and the total square footage of the building.
 - (d) Evidence of required street closure permit.
 - (e) The name and address of the owner of the building.
 - (f) The type of equipment or method used to demolish the building.

- (g) Evidence that all public utilities have been disconnected.
- (h) Proof of insect and/or rodent abating of any building at least ten (10) days before the demolition may be required.
- (i) Proof of permission from the owner to demolish the building.
- (j) Evidence that proper erosion control will be provided for the site during demolition as well as during seeding and final grading of site.
- (k) Evidence that the structure has been inspected for asbestos. If asbestos is found, evidence shall be provided to indicate how the asbestos is to be removed and where it will be disposed.
- (l) Site plan, which shall indicate proposed grading and seeding.

(2) To obtain a thirty (30) day partial structure or interior demolition permit, the applicant shall first file an application therefore in writing on a form furnished by the Code Official for that purpose. Such application shall provide:

- (a) Identify and describe the work to be covered by the permit for which application is made.
- (b) Describe the land on which the proposed work is to be done by legal description, street address or similar description that will readily identify and definitely locate the proposed building or work.
- (c) Indicate the use and occupancy for which the proposed work is intended.
- (d) Be accompanied by construction documents and other information as required by Code Official.
- (e) State the valuation of the proposed work.
- (f) Be signed by the applicant or the applicant's authorized agent.
- (g) Give such other data and information as required by the Code Official. Said permit will be issued in conjunction with permit for proposed new construction.

(I) 107.1 Construction documents—submittal documents. Construction documents, statements of special inspections and other data shall be submitted in one (1) or more sets with each permit application. At least five (5) sets of plans shall be submitted for all new construction with at least three (3) sets being submitted for all alteration projects. The construction documents shall be prepared by a registered design professional where required by the Statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the Code Official is authorized to require additional construction documents to be prepared by a registered design professional.

Exception: The Code Official is authorized to waive the submission of construction documents and other data not required to be prepared by a registered design

professional if it is found that the nature of the work applied for is non-structural and does not include modification or removal of existing foundation, floor, wall or roof supports.

- (J) 107.2.6 Site plan. There shall be a site plan showing, to scale, the size and location of all new construction and all existing structures on the site including easements, sewers, drains, utilities, etc., distances from lot lines, established street grades and the proposed finished grades and it shall be drawn in accordance with an accurate boundary line survey. All decks, balconies, overhangs or other building protrusions shall be indicated and dimensioned. In the case of demolition, the plot plan shall show all construction to be demolished and the location and size for all existing structures and construction that are to remain on the site of the plot. Fire apparatus access roads provided and fire hydrant coverage as approved by the fire official shall be indicated as such on the site plan. The property owner or his or her agent shall certify to the Code Official that the top of the foundation for a building will be in conformance with the approved site plan, including building elevations, site grading, erosion control devices and building setbacks. The Code Official is authorized to waive or modify the requirement for a site plan when the application or permit is for alteration or repair and does not affect the exterior features of the building.
- (K) 107.3.4 Design professional Construction documents, if required, shall be prepared by a Kansas registered professional as required by the Kansas Board for Architects, Professional Engineers and Land Surveyors.
- (L) 108.1 General. The Code Official is authorized to issue a permit for temporary structures and temporary uses. Such permits shall be limited as to time of service and are only allowed if authorized under the Paola land development ordinance and the provisions of this code, the Code Official may grant extensions for these uses for demonstrated cause.
- (M) 108.2 , 3103.1.1 Conformance. Temporary structures and uses shall conform to the structural strength, fire safety, means of egress, accessibility, light, ventilation and sanitary requirements of this code as necessary to ensure the public health, safety and general welfare.
- (N) 108.3 Temporary power. The Code Official is authorized to give permission to temporarily supply and use power in part of an electric installation before such installation has been fully completed and the final certificate of completion has been issued. The part covered by the temporary certificate shall comply with the requirements specified for temporary lighting, heat or power in NFPA 70 National Electrical Code, 2017.
- (O) 109.2 Schedule of permit fees. On buildings, structures, electrical, gas, mechanical, elevator equipment and plumbing systems or alterations requiring a permit, a fee for each permit shall be paid as required in accordance with the City of Paola fee schedule.
- (P) 109.4 Work commencing before permit issuance. Any person who commences any work on a building, structure, electrical, gas, mechanical or plumbing system before first obtaining the necessary permits shall be charged double the normal required permit fee. The payment of such double fee shall not relieve any persons from fully

complying with the requirements of this code in the execution of the work nor from any other penalties presented herein.

- (Q) 109.6 Refunds. Unless specifically set forth herein, all fees paid are non-refundable. The Code Official may authorize refunding of any fee paid hereunder, which was erroneously paid or collected. The Code Official may authorize refunding of not more than eighty percent (80%) of the permit fee paid when no work has been done under a permit issued in accordance with the Paola Building Code. The Code Official may authorize refunding of not more than eighty percent (80%) of the plan review fee when an application for a permit for which a plan review fee has been paid is withdrawn or canceled before any plan reviewing is done. The Code Official shall not authorize refunding of any fee paid except on written application filed by the original permit holder not later than ninety (90) days after the date of fee payment, as long as work has not commenced.
- (R) 110.3.5 Lath and gypsum board inspection. Lath and gypsum board inspections shall be made after lathing and gypsum board, interior and exterior, is in place, but before any plastering is applied or gypsum board joints and fasteners are taped and finished.
- (S) 110.3.8 Energy efficiency inspections. Inspections shall be made to determine compliance with Chapter 13 and shall include, but not be limited to, inspections for: envelope insulation R and U values, duct system R value and HVAC and water-heating equipment efficiency.
- (T) 110.3.8.1 Roofing inspections. Roofing inspections shall be made at the midpoint of roofing installation and after roofing installation is complete.
- (U) 110.3.9 Other inspections. In addition to the inspections specified above, the Code Official is authorized to make or require other inspections of any construction work to ascertain compliance with the provisions of this code and other laws that are enforced by the Department of Building Inspections.
- (V) 110.3.10 Special inspections. For special inspections, see Section 1704.
- (W) 110.3.10.1 Fire protection inspections. Inspection of all fire protection systems.
- (X) 110.3.11 Final inspection. The final inspection shall be made after all work required by the building permit is completed.
- (Y) 111.3 Temporary occupancy. The Code Official is authorized to issue a temporary certificate of occupancy (TCO) before the completion of the entire work covered by the permit, provided that such portion or portions shall be occupied safely. The Code Official shall set a time period during which the temporary certificate of occupancy is valid, provided however that such time period shall not exceed forty-five (45) days. The Code Official is authorized to renew the temporary certificate of occupancy for two (2) additional periods not exceeding forty-five (45) days for each renewal.
- (Z) 1612.3 Establishment of flood hazard areas. To establish flood hazard areas, the Governing Body shall adopt a flood hazard map and supporting data. The flood hazard map shall include, at a minimum, areas of special flood hazard as identified by the Federal Emergency Management Agency in an engineering report entitled "City of

Paola, Kansas, adopted Ordinance No. 3058, amending Article 16 Floodplains Management Regulations of The Paola Land Development Ordinance to adopt the revised FEMA Flood Plain Maps as of January 16, 2014". The adopted flood hazard map and supporting data are hereby adopted by reference and declared to be part of this Section.

(AA) Reserved.

(AB) Reserved.

(AC) G103.4 Activities in riverine flood hazard areas. In riverine flood hazard areas where design flood elevations are specified but floodways have not been designated, the floodplain administrator shall not permit any new construction, substantial improvement or other development, including fill, unless the applicant demonstrates that the cumulative effect of the proposed development, when combined with all other existing and anticipated flood hazard area encroachment, will not increase the design flood elevation more than 0.01 foot at any point within the community.

(AD) G105 Variances. All requests for variances shall be in accordance with the City of Paola land development ordinance.

(AE) G201 Definitions. Refer to Chapter 2 for general definitions and the City of Paola land development ordinance for specific definitions.

(AF) G501.1 Manufactured homes, elevation. All new and replacement manufactured homes to be placed or substantially improved in a flood hazard area shall be elevated such that the lowest floor of the manufactured home is elevated to or above three (3) feet above the base flood elevation.

(AG) H101.1 Signs, general. Sign standards shall be as outlined in the City of Paola land development ordinance. A sign shall not be erected in a manner that would confuse or obstruct the view of or interfere with exit signs required by Chapter 10 or with official traffic signs, signals together with their supports, braces, guys and anchors, shall be kept in repair and in proper state of preservation. The display surfaces of signs shall be kept neatly painted or posted at all times.

(AH) H102.1 Definitions. For definitions pertinent to this standard refer to the City of Paola Land Development Ordinance, Section 7. Refer to Chapter 2 of the International Building Code for general definitions.

(AI) H103.1 Location restrictions. Signs shall not be erected, constructed or maintained so as to obstruct any fire escape or any window or door or opening used as a means of egress or so as to prevent free passage from one part of a roof to any other part thereof. A sign shall not be attached in any form, shape or manner to a fire escape, nor be placed in such manner as to interfere with any opening required for ventilation and as required by Section 7 of the City of Paola land development ordinance.

(AJ) H106.2 Electrical service. Signs that require electrical service shall comply with the National Electrical Code.

(AK) Section H115 Referenced standards.

ASTM D 635-03 Test Method for Rate of Burning and/or extent and time of burning
of self-supporting plastics in a horizontal
position H107.1.1

ICC EC-06 NFPA 70 National Electrical Code H106.1, H106.2

NFPA 701-99 Methods of Fire Test for Flame Propagation of textiles and
films H106.1.1

(4) International Building Code—additions. The following Chapters, Sections and Subsections of the 2018 Edition of the International Building Code are hereby added as follows.

(A) 116.1.1 Vacant Structures.

- (1) A vacant structure or vacant portion of a structure shall be secured against entry by trespassers or animals (including birds) and put in a safe, stable condition. The owner shall cause all exterior doors and windows to be locked and secured at all times. If any exterior windows or doors of such building have broken glass or broken panels, then the owner shall cause such openings to be closed by repairing or replacing the damaged unit in a good and workmanlike manner or by boarding the opening. If the owner chooses to board up such openings, he/she shall use weather-resistant plywood of at least three-eighths (3/8) inch thickness cut to fit the opening size and shall attach such plywood to the exterior of all such openings using wood screws of at least one and one-half (1 1/2) inches long placed twelve (12) inches on center. Such plywood shall be of a color or coated with a color which blends with the exterior of the building.
- (2) If any other opening exists in the building envelope (walls, foundations, fascia, soffit, roof or other), the owner shall cause such openings to be closed in a good and workmanlike manner using material approved for such purpose.
- (3) The building must have a sound foundation and be free from excessive leaning, sagging or buckling members and shall be secured to afford the building and its contents protection from the elements.
- (4) Exterior porches, stairs, landings, retaining walls and other structures shall be put in good repair or removed.

(B) 1010.4.1 Purpose. The purpose of this Section is to establish minimum standards that incorporate physical security to make dwelling units resistant to unlawful entry.

(C) 1010.4.1.1 Scope. The provisions of this Section shall apply to all new structures and to alterations, additions and repairs as stipulated in Chapter 34 of this code.

(D) 1010.4.2 Doors. Except for vehicular access doors, all exterior swinging doors of residential buildings and attached garages, including the doors leading from the garage area into the dwelling unit, shall comply with Sections 1008.4.2.1 through 1008.4.2.5 for the type of door installed.

(E) 1010.4.2.1 Wood doors. Where installed, exterior wood doors shall be of solid core construction such as high-density particleboard, solid wood or wood block core with a

minimum thickness of one and three-fourths (1 3/4) inches at any point. Doors with panel inserts shall be solid wood. The panels shall be a minimum of one (1) inch thick. The tapered portion of the panel that inserts into the groove of the door shall be a minimum of one-quarter (1/4) inch thick. The groove shall be a dado groove or applied molding construction. The groove shall be a minimum of one-half (1/2) inch in depth.

- (F) 1010.4.2.2 Steel doors. Where installed, exterior steel doors shall be a minimum thickness of twenty-four (24) gauge.
- (G) 1010.4.2.3 Fiberglass doors. Fiberglass doors shall have a minimum skin thickness of one-sixteenth (1/16) inch and have reinforcement material at the location of the deadbolt.
- (H) 1010.4.2.4 Double doors. When installed, the inactive leaf of an exterior double door shall be provided with flush bolts having an engagement of not less than one (1) inch into the head and threshold of the door frame.
- (I) 1010.4.2.5 Sliding doors. Where installed, exterior sliding doors shall comply with all of the following requirements:
 - (1) Sliding door assemblies shall be installed to prevent the removal of the panels and the glazing from the exterior with the installation of shims or screws in the upper track.
 - (2) All sliding glass doors shall be equipped with a secondary locking device consisting of a metal pin or a surface mounted bolt assembly. Metal pins shall be installed at the intersection of the inner and outer panels of the inside door and shall not penetrate the frame's exterior surface. The surface mounted bolt assembly shall be installed at the base of the door.
- (J) 1010.4.3 Door frames. The exterior door frames shall be installed prior to a rough-in inspection. Door frames shall comply with Sections 1010.4.3.1 through 1010.4.3.3 for the type of assembly installed.
- (K) 1010.4.3.1 Wood frames. Wood door frames shall comply with all of the following requirements:
 - (1) All exterior door frames shall be set in frame openings constructed of double studding or equivalent construction, including garage doors, but excluding overhead doors. Door frames, including those with side lights, shall be reinforced in accordance with ASTM F476-84 Grade 40.
 - (2) In wood framing horizontal blocking shall be placed between studs at the door lock height for three (3) stud spaces or equivalent bracing on each side of the door opening.
- (L) 1010.4.3.2 Steel frames. All exterior door frames shall be constructed of eighteen (18) gauge or heavier steel and reinforced at the hinges and strikes. All steel frames shall be anchored to the wall in accordance with manufacturer specifications. Supporting

wall structures shall consist of double studding or framing of equivalent strength. Frames shall be installed to eliminate tolerances inside the rough opening.

- (M) 1010.4.3.3 Door jambs. Door jambs shall be installed with solid backing in a manner so that no void exists between the strike side of the jamb and the frame opening for a vertical distance of twelve (12) inches each side of the strike. Filler material shall consist of a solid wood block.
- (N) 1010.4.4 Door hardware. Exterior door hardware shall comply with Sections 1008.4.4.1 through 1008.4.4.6.
- (O) 1010.4.4.1 Hinges. Hinges for exterior door hardware shall comply with the following:
 - (1) At least two (2) screws, three (3) inches in length, penetrating at least one (1) inch into wall structure shall be used. Solid wood fillers or shims shall be used to eliminate any space between the wall structure and door frame behind each hinge.
 - (2) Hinges for out-swinging doors shall be equipped with mechanical interlock to preclude the removal of the door from the exterior.
- (P) 1010.4.4.2 Strike plates. Exterior door strike plates shall be a minimum of eighteen (18) gauge metal with four (4) offset screw holes. Strike plates shall be attached to wood with not less than three (3) inch screws, which shall have a minimum of one (1) inch penetration into the nearest stud. Note: For side lighted units, refer to Section 1008.4.4.6.
- (Q) 1010.4.4.3 Escutcheon plates. All exterior doors shall have escutcheon plates or wraparound door channels installed around the lock protecting the door's edge.
- (R) 1010.4.4.4 Locks. Exterior doors shall be provided with a locking device complying with one (1) of the following: Single cylinder deadbolt shall have a minimum projection of one (1) inch. The deadbolt shall penetrate at least three-fourths (3/4) inch into the strike receiving the projected bolt. The cylinder shall have a twist-resistant, tapered hardened steel cylinder guard. The cylinder shall have a minimum of five (5) pin tumblers, shall be connected to the inner portion of the lock by solid metal connecting screws at least one-fourth (1/4) inch in diameter and two and one-fourth (2 1/4) inches in length. Bolt assembly (bolt housing) unit shall be of single piece construction. All deadbolts shall meet ANSI grade 2 specifications.
- (S) 1010.4.4.5 Entry vision and glazing. All main or front entry doors to dwelling units shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. The view may be provided by a door viewer having a field of view of not less than one hundred eighty degrees (180°) through windows or through view ports.
- (T) 1010.4.4.6 Side lighted entry doors. Side light door units shall have framing of double stud construction or equivalent construction complying with Sections 1008.4.3.1, 1010.4.3.2 and 1010.4.3.3. The door frame that separates the door opening from the side light, whether on the latch side or the hinge side, shall be double stud

construction or equivalent construction complying with Sections 1008.4.3.1 and 1008.4.3.2. Double stud construction or construction of equivalent strength shall exist between the glazing unit of the side light and wall structure of the dwelling.

- (U) 1010.4.5 Street numbers. Street numbers shall comply with Section 501.2.
- (V) 1010.4.6 Exterior lighting. Exterior lighting shall comply with NFPA National Electric Code, 2005, Section 210.70.
- (W) 3001.6 Acceptance inspections. All elevator equipment shall have an acceptance inspection and test performed and approved in accordance with ASME A17.1 requirements. Prior to the issuance of a certificate of occupancy, a copy of this inspection shall be forwarded to the City of Paola.
- (X) 3001.7 Periodic inspections. All elevator equipment shall have periodic inspections and testing performed and approved in accordance with ASME A17.1 requirements.
- (Y) 3303.8 Wrecking, demolishing or razing.
 - (1) No person, firm or corporation shall wreck, demolish or raze a building or other structure within the jurisdiction of the City of Paola, Kansas, without first obtaining a permit therefore from the Code Official. Such permit shall be issued only to an insured person, firm or corporation as hereinafter provided. A permit may be issued to an uninsured owner of record of land who desires to wreck or demolish or raze any building thereon, except that if such building shall be more than two (2) stories high or shall be less than ten (10) feet back from the street property line, such owner shall be required to give a certificate of insurance to the City of Paola as hereinafter provided and required from persons, firms or corporations engaged in the business of wrecking, demolishing or razing buildings.
 - (2) All applications for permits to wreck, demolish or raze a building or other structure shall be made to the Code Official and every such application shall state the location of the building or structure to be wrecked, demolished or razed, its length, width, height and the principal materials of its construction, the length of time that will be required to wreck, demolish or raze such building or structure and the proof of permission of the owner to demolish. The name, address and phone number of the demolition debris landfill where demolition debris will be disposed. A satisfactory pre-demolition evaluation inspection from the office of community development and an approval for the abandonment of the on-site wastewater system or approval for reuse of the on-site wastewater system by the Miami County Environmental Health Department, as necessary, shall be required. If such application complies with the terms and provisions of this Section, then the Code Official shall issue such permit; provided however, that if such work is not begun within sixty (60) days after issuance of the permit, such permit shall expire by limitation and be void.
 - (3) Every person, firm, partnership, corporation or joint venture shall provide evidence of contractor's general liability insurance with explosion, collapse and underground hazards specifically included prior to the City's issuance of a permit for demolition, wrecking or razing of any structure. Proof of such insurance shall

be evidenced by a certificate of insurance signed by the insurer and/or the insurer's agent and shall certify the name of the insurance and his/her address, the amounts and types of insurance actually in force and limitation to the locality covered by the policy, the policy beginning and ending dates and an agreement to notify, in writing, the City of Paola's Building Department fifteen (15) days prior to the termination of the policy. Such insurance shall be retained in force at all times during demolition, wrecking or razing of the structure or structures for which a permit is issued. Any permit issued in this Section shall automatically terminate upon the lapse or termination of the required insurance coverage.

Minimum coverage shall be in the following amounts: General liability: \$2,000,000.

The amounts stated above shall be deemed minimum coverage and shall not preclude the Code Official from requiring greater coverage, when, in his/her judgment, the means, scope, method, special conditions or circumstances of the demolitions, wrecking or razing so dictate.

- (4) The issuance of a permit hereunder shall be conditioned among other things mentioned that such person, firm or corporation will pay any and all damage which may be caused to any property, public or private, within Paola and the Community Growth Area and any and all claims for personal injury when injury is caused or inflicted by such person, firm or corporation or their agents, servants, employees, contractors or subcontractors and shall further condition that the City of Paola shall be saved harmless from all costs, loss or expense arising out of the carrying on of such business.
- (5) In the wrecking, demolishing or razing of any building or structure, the work shall be carried on in conformance with good engineering practice. Backfill material shall be clean earth, free from organic matter. Use of any other type of backfill material shall require authorization of the Code Official and shall be stated on the permit. Should stone, brick or concrete be authorized as a supplement for a portion of the backfill, it must be a minimum of twelve (12) inches below grade level. The supplement should not exceed twenty percent (20%) of the total backfill and should be thoroughly compacted.

(Z) 3001.6 Elevators. Where there is an elevator or elevators for public use, at least one (1) elevator serving the area shall comply with this Section. Existing elevators with a travel distance of twenty-five (25) feet shall comply with this Section. Existing elevators with a travel distance of twenty-five (25) feet (7,620 mm) or more above or below the main floor or other level of a building and intended to serve the needs of emergency personnel for fire-fighting or rescue purposes shall be provided with emergency operation in accordance with ASME A17.3. New elevators shall be provided with Phase I emergency recall operation and Phase II emergency in-car operation in accordance with ASME A17.1.

(AA)3001.7 Paola Land Development Ordinance Conformance. Structures moved into or within the City of Paola, Kansas, and its jurisdiction shall comply with the Paola land development ordinance.

(Prior Code §500.190; Code 2021)

(AB) 503.1.4, Exception 3. Toilet rooms on occupied roofs. One or a pair of single-user toilet rooms located on an occupied roof shall be permitted without being considered as an additional story, additional building height, or additional floor area, for determination of the required type of construction. The toilet rooms shall comply with all other applicable requirements.

(AC) 903.2.8, Exception. An automatic sprinkler system is not required in a detached single family dwelling, a detached two-family dwelling (duplex), or in an attached single-family dwelling (townhouse), where under the scope of this Article.

(AD) A builder of a detached one- or two-family dwelling or townhouse shall offer to any purchaser on or before the time of entering into the purchase contract the option, at the purchaser's cost, to install or equip fire sprinklers in the dwelling or townhouse. The purchaser shall have the right to choose or decline to install a fire sprinkler system. Refer to K.SA. 12-16,219

(AD) 903.3.1.1.1, Exempt Locations, Item 2. Any room or space where sprinklers are considered undesirable because of the nature of the contents, when approved by the fire code official and the building code official.

(AE) 1109.2.1.8 Universal Changing Station. Family or assisted-use toilet and bathing rooms shall include a universal changing station for the assistance of persons with disabilities. The changing station area must be equipped with a height-adjustable changing table suitable for use for an adult or a child. The table shall be: a) of minimum dimension 24 inches in width by 70 inches in length;

- b) adjustable to allow lowering to a height no greater than 8 inches, and raising to a height no less than 34", above finished floor elevation; and,
- c) capable of supporting a minimum of 350 pounds.

Exception: Where a building is provided with more than one family or assisted-use toilet and bathing room, only one such room shall require a Universal Changing Station. Where this exception is utilized, signage shall be provided at all such rooms indicating the location of the Universal Changing Station.

(5) International Building Code—additions. The following Chapters, Sections and Subsections of the 2018 Edition of the International Building Code are hereby added as follows.

- (A) 308.2.4 Five or fewer persons receiving custodial care. A facility such as listed in section 308.2 with five or fewer persons receiving custodial care shall be classified as Group R-3 or shall comply with the International Residential Code.
- (B) 308.3.2 Five or fewer persons receiving medical care. A facility such as listed in section 308.3 with five or fewer persons receiving medical care shall be classified as Group R-3 or shall comply with the International Residential Code.

(C)310.3 Short Term Rental units. Residential occupancies of occupancy classification R-2, where a maximum of 25% of the units in a building are Short Term Rental units, shall be permitted to be considered primarily non-transient in nature.

(D) 310.4.1 Care facilities within a dwelling. Care facilities for five or fewer persons receiving care that are within a single-family dwelling are permitted to comply with the International Residential Code.

(E) 310.4.2 Lodging houses. Owner-occupied lodging houses (in which the owner lives in common with the guests) with five or fewer guest rooms and 10 or fewer total occupants shall be permitted to be constructed in accordance with the International Residential Code.

4-202. Incorporation of International Residential Code for One- and Two-Family Dwellings.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the City of Paola, the 2018 International Residential Code, dated August 31, 2017, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2018 International Residential Code shall be marked "Official Copy as Adopted by Ordinance No. 3005", to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

(1) International Residential Code for One- and Two-Family Dwellings—appendices adopted. The following appendices are adopted as part of the International Building Code.

- (A) Appendix A—Sizing and Capacities of Gas Piping.
- (B) Appendix B—Sizing of Venting Systems.
- (C) Appendix C—Exit Terminals.
- (D) Appendix D—Safety Inspections.
- (E) Appendix E—Manufactured Housing.
- (F) Appendix F—Radon Control Methods.
- (G) Appendix G—Piping Standards For Various Applications
- (H) Appendix H—Patio Covers.
- (I) Appendix J—Existing Buildings and Structures.
- (J) Appendix K—Sound Transmission (as referenced).
- (K) Appendix M—Home Day Care—R3 Occupancy (as referenced).
- (L) Appendix N—Venting Methods.

(M) Appendix Q-Tiny Houses

(2) International Residential Code for One- and Two-Family Dwellings—deletions.

(A) Sections R103, R104, R105, R106. The following Chapters, Sections and Subsections of the 2018 Edition of the International Residential Code for One- and Two-Family Dwellings are hereby deleted: R107, R108, R109, R110, R111, R112, R113 and R114.

(B) Section R322. (Flood - Resistant Construction)

(C) Table R404.1.1 (1). (Masonry Wall Table Design)

(D) Table R404.1.1 (2). (Masonry Wall Table Design)

(E) Table R404.1.1 (3). (Masonry Wall Table Design)

(F) Table R404.1.1(4) (Masonry Wall Table Design)

(G) R303.4 Mechanical ventilation

(H) Chapter 11. (energy code)

(I) R302.13 (Fire protection of floors)

(3) International Residential Code for One- and Two-Family Dwellings—amendments. The following Chapters, Sections and Subsections of the 2006 Edition of the International Residential Code for One- and Two-Family Dwellings are hereby amended as follows.

(A) R101.1 Title. These provisions shall be known as the Residential Code for One- and Two-Family Dwellings of the City of Paola and shall be cited as such and will be referred to herein as “this Code”.

(B) Table R301.2. (1) is hereby amended to read as follows.

Table R301.2 (1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND	WIND DESIGN				SEISMIC	SUBJECT TO DAMAGE FORM		
	SNOW LOAD ^c	Speed ^d (mph)	Topographic Effects ^k	Special wind Region ^l		DESIGN CATEGORY ^j	Weathering ^a	Frost line Depth ^b
20 psf	115	No	No	No	A	Severe	36 ^h	Moderate to Heavy

WINTER DESIGN TEMP ^e	ICE BARRIER UNDERLayment REQUIRED ^h	FLOOD HAZARDS ^g	AIR FREEZING INDEX ⁱ	MEAN ANNUAL TEMP ^j
6 F	Yes	See Ordinance Chapter 28	1000 F-days	54.2 F

(C) Table R302.6. Amend separation of Garage-Residence and Attic. Not less than $\frac{5}{8}$ inch Type X gypsum board or equivalent shall be used in non sprinkled applications.

The following subsection found in the referenced model code is amended as follows:

(D) R302.2.2 (Common Walls, Townhouses). Amend "Item 1" of this section as follows (remainder of this section is unchanged).

1. Where a fire sprinkler system in accordance with P2904 is provided, the common wall shall be not less than a 2-hour fire-resistance-rated wall assembly tested in accordance with ASTM E119, UL 263 or Section 703.3 of the International Building Code.

(E) R313 AUTOMATIC FIRE SPRINKLER SYSTEMS. A builder of a one- or two-family dwelling or townhouse shall offer to any purchaser on or before the time of entering into the purchase contract the option, at the purchaser's cost, to install or equip fire sprinklers in the dwelling or townhouse. The purchaser shall have the right to choose or decline to install a fire sprinkler system. Refer to K.S.A 12-16,219

(F) R602.6.1, Figure R602.6.1 Drilling and notching of top plate. Where piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than 50 percent of its width, a galvanized metal tie of not less than 0.054 inch thick (1.37 mm) (16 ga) and 1 1/2 inches (38 mm) wide shall be fastened across and to the plate at each side of the opening with not less than four 10d (0.148 inch diameter) nails having a minimum length of 1-1/2 inches (38 mm) at each side, or equivalent (or as required by the product listing, evaluation report, or manufacturer's instructions, where applicable). The metal tie must extend a minimum of 6 inches past the opening. See Figure R602.6.1. Exception: When the entire side of the wall with the notch or cut is covered by wood structural panel sheathing.

(G) R801.3 Roof drainage. All dwellings shall have a controlled method of water disposal from roofs that will collect and discharge all roof drainage to the ground surface not less than 3 feet (1524 mm) from foundation walls or to an approved drainage system.

(H) P2902.5.3 Lawn irrigation systems. The potable water supply to lawn irrigation systems shall be protected against backflow by a double check valve assembly or a reduced pressure principle backflow preventer. When chemicals are introduced into the system, the potable water supply shall be protected against backflow by a reduced pressure principle backflow preventer.

(I) P2903.8.2 Minimum size. The minimum size of individual distribution lines shall be $\frac{1}{2}$ " (12.7mm). Certain fixtures such as one-piece water closets and whirlpool bathtubs shall require a larger size where specified by the manufacturer. If a water heater is fed

from one end of a cold water manifold, the manifold shall be one size larger than the water heater feed.

- (J) P3105.4 Floor drain. A floor drain (where used as such) need not be vented, provided it is within 25 feet of a three-inch stack or horizontal drain which has at least a three-inch-diameter vent extension through the roof.
- (K) Roof Setbacks. A roof with a 12" overhang shall be allowed within the required setback.
- (L) E3902.18 A dedicated receptacle supplying only a permanently installed fire alarm or burglar alarm system. Supplying only a garage door opener, refrigerator, freezer, washer, disposal and/or sump pump may not require GFCI
- (M) E3902.5 (Unfinished basement receptacles), Exception. Receptacles utilizing the provisions of this exception shall be permanently marked to indicate "[Type of equipment] Only – No GFCI Protection". If the unfinished basement is prone to moisture, GFCI protection shall be required.
- (N) E3902.16 Arc-fault circuit-interrupter protection. Branch circuits that supply 120-volt, single- phase, 15- and 20-ampere receptacles installed in bedrooms shall be protected by Arc-fault circuit-interrupter.
- (C) R302.1 Exterior walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall be of one-hour fire-resistive construction where located within ten (10) feet of a lot line or between another building located on the same lot.
- (O) Subsection R302.5.2 Duct penetration. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gauge (0.48 mm) sheet steel or other approved material. Supply ducts with openings into a garage shall be provided with listed fire dampers installed in line with the wall, floor/ceiling or roof/ceiling assembly providing the separation required by Section R302.6.
- (P) R401.4.1 Geotechnical evaluation. In lieu of a complete geotechnical evaluation, the load-bearing values of soils in the City of Paola shall be assumed to be one thousand five hundred (1,500) psf for typical clays and four thousand (4,000) psf for sedimentary rock.
- (Q) R403.1.4 Minimum depth. All exterior footings and foundation systems shall extend below the frost line specified in Table R301.2 (1). All exterior footings shall be placed at least thirty-six (36) inches (914 mm) below the undisturbed ground or shall bear directly on solid natural rock.
- (R) R403.1.5 Slope. The top surface of footings shall be level. The bottom surface of footings shall not have a slope exceeding one (1) unit vertical in ten (10) units horizontal (10% slope). Footings shall be stepped where it is necessary to change the elevation of the top surface of the footings or where the slope of the bottom surface of the footings will exceed one (1) unit vertical in ten (10) units horizontal (10% slope). Vertical steps in footings shall be formed between levels with reinforcing required for

footings run continuous and unspliced a minimum distance of twenty-four (24) inches in the upper and lower levels of the step.

(S) R403.1.6 Foundation anchorage. The sole plate at exterior walls shall be anchored to the foundation with anchor bolts spaced a maximum of three (3) feet on center. There shall be a minimum of two (2) bolts per plate section with one (1) bolt located not more than twelve (12) inches or less than seven (7) bolt diameters from each end of the plate section. Bolts shall be at least one-half (1/2) inch in diameter and shall extend a minimum of seven (7) inches into masonry or concrete and be capable of having washer and nut fully installed on bolt. Interior wall sole plates shall be positively anchored with approved fasteners. A nut and washer shall be tightened on each bolt of the plate. Sills and sole plates in contact with concrete shall be protected against decay and termites in accordance with Section R 319 and R320.

(T) Concrete and masonry foundation walls. Concrete and masonry foundation walls shall be selected and constructed in accordance with the provisions of this Section or in accordance with ACI 318, ACI 332, NCMA- TR68-A or ACI 530/ASCE 5/TMS 402 or other approved structural standards.

(U) R404.1.1 Masonry foundation walls. Concrete masonry and clay masonry foundation shall be constructed as set forth in Table R404.1.1 (1), R404.1.1 (2), R404.1.1 (3) or R404.1.1 (4) and the applicable provisions of Sections R606, R607 and R608.

(V) R404.1.3 Concrete foundation walls. Concrete foundation walls shall be constructed as set forth in Table R404.1.2 (1) and R404.1.2(2).

(W) Table R404.1.2 (2) shall be amended as follows: Do you need this revised table?

Table R404.1.2 (2)

Concrete Foundation Walls Minimum Vertical Reinforcement

Maximum Wall Height (feet)	Wall Thickness (inches)		
	7.5	9.5	11.5
4	24	30	36
5	24	30	36
6	24	30	36
7	24	30	36
8	24	30	36
9	16	24	30
10	12	18	24

Notes to Table:

(1) Reinforcing is based upon minimum yield strength of 60,000 psi. Reinforcement with a minimum yield strength of 40,000 psi or 50,000 psi is permitted, provided the same size bar is used and the spacing shown in the table is reduced by multiplying the spacing by 0.67 or 0.83, respectively.

- (2) Horizontal reinforcing shall be spaced at a maximum of twenty-four (24) inches on center with one (1) bar located within twelve (12) inches of the top and bottom of the wall.
- (3) Spacing is based upon minimum #4 reinforcing bar. In lieu of #4 reinforcing bar, a larger bar size may be used, provided the bar spacing results in an equivalent cross-sectional area of reinforcement per linear foot of wall.
- (4) Reinforcement shall be placed nearest the inside face of the wall a distance d from the outside face (soil side) of the wall. The distance d is equal to the wall thickness, t , minus one and one-quarter (1.25) inches plus one-half (1/2) the bar diameter, db ($d = t (1.25 + db/2)$). The reinforcement shall be placed within a tolerance of $\pm 3/8$ inch where d is less than or equal to eight (8) inches or $\pm 1/2$ inch where d is greater than eight (8) inches.
- (5) Concrete cover for reinforcement measured from the inside face of the wall shall not be less than three-quarters (3/4) inch. Concrete cover for reinforcement measured from the outside face of the wall shall not be less than one and one-half (1 1/2) inches for #5 bars and smaller and not less than two (2) inches for larger bars.
- (6) Concrete shall have a minimum compressive strength of not less than 3,000 psi at twenty-eight (28) days.
- (7) Walls with an unbroken wall line greater than twenty-five (25) feet shall be provided with pilasters or shall be designed.
- (8) Walls exceeding seven (7) feet in height shall be restrained at bottom by floor slab.
- (9) Walls exceeding ten (10) feet in height require engineered design.
- (10) Foundations bearing on soils with different bearing capacities as established by Table R401.4.1 require an engineered design.

(X) R405.1 Foundation drains. Drains shall be provided around the exterior of all concrete or masonry foundations that retain earth and inside of the building perimeter under basement floor slabs. Drainage tiles, perforated pipe or other approved systems or materials shall be installed below the area to be protected and shall discharge by gravity or mechanical means. Drainage tiles or perforated pipe installed around the exterior perimeter shall have a minimum diameter of four (4) inches. Drainage tiles or perforated pipe installed on the inside of the foundation shall have a minimum diameter of three (3) inches. Drainage tiles or perforated pipe installed on the exterior perimeter of the building shall be placed on a minimum of two (2) inches of washed gravel or crushed rock at least one (1) sieve size larger than the tile joint or perforation and be covered with not less than six (6) inches of the same material. The top and sides of the gravel or crushed stone encapsulating the drainage tile or perforated pipe shall be covered with an approved filter membrane material to prevent clogging of the foundation drainage system.

(Y) R506.1 General. Concrete slab-on-ground floors shall be a minimum three and one-half (3.5) inches (89 mm) thick. Slabs on natural undisturbed soils or rock shall be provided with reinforcing consisting of #4 rebar placed at not more than twenty-four (24) inches on center each way. The specified compressive strength of concrete shall be as set forth in Section R402.2.

(Z) P2503.4 Building sewer testing. The Code Official may require the building sewer to be tested by insertion of a test plug at the point of connection with the public sewer and filling the building sewer with water, testing with not less than a ten (10) foot (3,048 mm) head of water and be able to maintain such pressure for fifteen (15) minutes.

(AA) P2503.5.1 Rough plumbing. The Code Official may require DWV systems to be tested on completion of the rough piping installation by water or air with no evidence of leakage. Either test shall be applied to the drainage system in its entirety or in sections after rough piping has been installed, as follows:

- (1) Water test. Each section shall be filled with water to a point not less than ten (10) feet (3,048 mm) above the highest fitting connection in that section or to the highest point in the completed system. Water shall be held in the section under test for fifteen (15) minutes before inspection. The system shall prove leak free by visual inspection.
- (2) Air test. The portion under test shall be maintained at a gauge pressure of five (5) psi (34 kPa) or ten (10) inches of mercury column (2,488 Pa). This pressure shall be held without introduction of additional air for a period of fifteen (15) minutes.

(AB) P2503.7 Water-supply testing. The Code Official may require the water-supply system to be tested. Upon completion of the water-supply system or a section of it, the system or portion completed shall be tested and proved tight under a water pressure of not less than the working pressure of the system or, for piping systems other than plastic, by an air test of not less than fifty (50) psi. This pressure shall be held for not less than fifteen (15) minutes. The water used for tests shall be obtained from a potable water source. The contractor or individual responsible for the installation shall perform the required test. The Code Official may require that a report be submitted detailing the results of the test.

(AC) P2603.3 Breakage and corrosion. Pipes passing through or under walls shall be protected from breakage. Pipes passing through concrete or cinder walls and floors, cold-formed steel framing or other corrosive material shall be protected against external corrosion by a protective sheathing or wrapping or other means that will withstand any reaction from lime and acid of concrete, cinder or other corrosive material. Sheathing or wrapping shall allow for expansion and contraction of piping to prevent any rubbing action. Minimum wall thickness of material shall be twenty-five thousandths (0.025) inch (0.64 mm). Water service piping shall be galvanized steel or copper pipe or tubing from a point fifteen (15) feet outside of a building to a point no less than twelve (12) inches inside of a building.

(AD) P2603.5 Freezing. A water, soil or waste pipe shall not be installed outside of a building, in exterior walls, in attics or crawl spaces or in any other place subjected to freezing temperature unless adequate provision is made to protect it from freezing by

insulation or heat or both. Water service pipe shall be installed not less than thirty-six (36) inches (914 mm) deep.

(AE) R112.1 General. In order to hear and decide appeals of orders, the application and interpretation of this code, there shall be and is hereby created a Board of Appeals. The Code Official shall be an ex officio member of said Board but shall have no vote on any matter before the Board. The Board of Appeals shall be appointed by the Governing Body and shall hold office at its pleasure. The Board shall adopt rules of procedure for conducting its business and shall render all decisions and findings in writing to the appellant with a duplicate copy to the Code Official.

(AF) R112.2 Limitations on authority. An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted thereunder have been incorrectly interpreted, the provisions of this code do not fully apply or an equally good or better form of construction is proposed. The Board shall have no authority to waive requirements of this code.

(Prior Code §500.200; Code 2021)

■ 4-203. Incorporation of International Plumbing Code; Amendments and Deletions.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the City of Paola, the 2018 International Plumbing Code, dated January, 2018, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2018 International Plumbing Code shall be marked Official Copy as Adopted by Ordinance No. 3005, to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

- (1) (Reserved)
- (2) International Plumbing Code—amendments. The following Chapters, Sections and Subsections of the 2018 Edition of the International Plumbing Code are hereby **amended** as follows.
 - (A) 101.1 Title. These regulations shall be known as the City of Paola, Plumbing Code hereinafter referred to as “this Code”.
 - (B) 305.4 Freezing. Water, soil and waste pipes shall not be installed outside of a building, in attics or crawl spaces, concealed in outside walls or in any other place subjected to freezing temperature unless adequate provision is made to protect such pipes from freezing by insulation or heat or both. Exterior water supply system piping shall be installed not less than thirty-six (36) inches below grade.
 - (C) 305.4.1 Sewer depth. Building sewers shall be a minimum of twelve (12) inches below grade.
 - (D) 504.3 Shutdown. A means for disconnecting an electric hot water supply system from its energy supply shall be provided in accordance with the NFPA 70 National

Electrical Code, 2017 Edition. A separate valve shall be provided to shut off the energy fuel supply to all other types of hot water supply systems.

- (E) 1003.3 Oil separators required. At repair garages; gasoline stations with grease racks, grease pits or work racks; car washing facilities with engine or undercarriage cleaning capability; and at factories where oily and flammable liquid wastes are produced, separators shall be installed into which all oil-bearing, grease-bearing or flammable wastes shall be discharged before emptying in the building drainage system or other point of disposal.
- (F) Floor Drain. A floor drain (where used as such) need not be vented, provided it is within 25 feet of a three-inch stack or horizontal drain which has at least a three-inch-diameter vent extension through the roof.
- (G) Oil separators shall not be connected to any private sewage disposal system unless first approved by the City of Paola and the Miami County Director of Environmental Health.
- (H) 608.7 Cross-connection control. Cross-connections shall be prohibited, except where approved protective devices are installed. Double check valves shall not be used in any required cross-connection control application.

(Prior Code §500.210; Code 2021)

4-204. Incorporation of International Mechanical Code; Amendments and Deletions.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the City of Paola, the 2018 International Mechanical Code, dated January, 2018, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2018 International Mechanical Code shall be marked Official Copy as Adopted by Ordinance No. 3005, to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

- (1) (Reserved)
- (2) (Reserved)
- (3) International Mechanical Code—amendments. The following Chapters, Sections and Subsections of the 2018 Edition of the International Mechanical Code are hereby amended as follows.
 - (A) 101.1 Title. These regulations shall be known as the City of Paola and Growth Area Mechanical Code hereinafter referred to as “this code”.
 - (B) 102.10 State Boiler Inspector. Where permits are issued and portions of the work require inspection and approval of boilers and pressure vessels by the State of Kansas, those portions of the work shall comply with the State requirements in lieu of compliance with the technical provisions of this code. Contact the State Boiler Inspector at the State Department of Human Resources for complete information

regarding State requirements. State approval is generally required for all boilers that require permits.

EXCEPTIONS:

- (1) Boilers serving individual dwelling units and their accessory structures.
- (2) Boilers serving apartment houses with less than five (5) families.
- (3) Pressure vessels that do not exceed fifteen (15) cubic feet and two hundred fifty (250) psi.

(Prior Code §500.220; Code 2021)

4-205. Incorporation of International Fuel Gas Code; Amendments and Deletions.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the unincorporated areas of the City of Paola, the 2018 International Fuel Gas Code, dated January, 2018, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2018 International Fuel Gas Code shall be marked Official Copy as Adopted by Ordinance No. 3005, to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

- (1) International Fuel Gas Code—appendices adopted. The following appendices are adopted as part of the International Fuel Gas Code.
 - (A) Appendix A—Sizing and Capacities of Gas Piping
 - (B) Appendix B—Sizing of Venting Systems Serving Appliances Equipped with Draft Hoods, Category I Appliances and Appliances Listed for Use and Type B Vents.
 - (C) Appendix C—Exit Terminals of Mechanical Draft and Direct-Vent Venting Systems
 - (D) Appendix D—Recommended Procedure for Safety Inspection of an Existing Appliance Installation
- (2) (Reserved)
- (3) International Fuel Gas Code—amendments. The following Chapters, Sections and Subsections of the 2018 Edition of the International Fuel Gas Code are hereby amended as follows.
 - (A) 101.1 Title. These regulations shall be known as the City of Paola, Fuel Gas Code hereinafter referred to as “this code”.

(Prior Code §500.230; Code 2021)

4-206. Incorporation of National Electrical Code; Amendments and Deletions.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the unincorporated areas of the City of Paol, the 2017 National Electrical Code, dated August 5, 2017, as published by the National Fire Protection Association, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2017 National Electrical Code shall be marked Official Copy as Adopted by Ordinance No. 3005, to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

(1) (Reserved)

(2) (Reserved)

(3) National Electrical Code—amendments. The following Chapters, Sections and Subsections of the 2017 Edition of the National Electrical Code are hereby **amended** as follows.

(A) 90-2(b)(6) Installations of electrical systems, equipment and components indoors and outdoors that are within the scope of the provisions of Chapters 34 through 43 of the 2018 Edition of the International Residential Code.

(B) 210.12(A) All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit bedrooms shall be protected by a listed arc-fault circuit interrupter, combination type installed to provide protection of the branch circuit.

(Prior Code §500.240; Code 2021)

4-207. Incorporation of International Private Sewage Disposal Code; Amendments and Deletions.

There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the incorporated areas of the City of Paola, the 2018 International Private Sewage Disposal Code, dated January, 2018, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2018 International Private Sewage Disposal Code shall be marked Official Copy as Adopted by Ordinance No. 3005, to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

(Prior Code §500.270; Code 2021)

4-208. Incorporation of International Code Council Performance Code; Amendments and Deletions.

There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the incorporated areas of the City of Paola, the 2006 International Code Council Performance Code, dated January, 2006, as published by the International Code Council, Inc., excepting only such parts or portions thereof as are specifically deleted

or amended by this Section and including such new and additional provisions added to said code by this Section. Not less than one (1) copy of said 2006 International Code Council Performance Code shall be marked Official Copy as Adopted by Ordinance No. 3005, to which shall be attached a copy of the ordinance codified herein and filed with the City Clerk to be open to inspection and available to the public at all reasonable business hours.

(Prior Code §500.280; Code 2021)

4-209. Post Frame Building Standards.

- (a) **Title.** This Section shall be known as the City of Paola, Post Frame Building Standard.
- (b) **Scope.** The provisions of this Section shall apply to the design and construction of post frame buildings or additions thereto intended for agricultural or residential accessory uses on tracts of property that are zoned for residential or agricultural uses. The provisions of this Section are deemed to comply with the spirit and intent of the minimum design and construction provisions of the 2006 Edition of the International Building Code. The City of Paola, offers no warranty or guarantee on buildings utilizing these design specifications.
- (c) **Limitations.** Buildings designed and constructed under these provisions shall not exceed limitations of this Section. Buildings that exceed the limitations of this subsection (c) shall be designed in accordance with requirements of the 2018 Edition of the International Building Code and requirements of the City of Paola's land development ordinance by a professional licensed by the State of Kansas to practice in the design of buildings.
 - (1) **Area.** Buildings shall not exceed three thousand (3,000) square feet in area.
EXCEPTION: Agricultural buildings shall not be limited in area.
 - (2) **Use.** Buildings designed and constructed under these provisions shall be limited for use as storage or agricultural buildings. Buildings designed and constructed under the provisions of this standard are not intended for residential or commercial purposes. Post frame buildings intended for residential or commercial use shall have structural and architectural plans prepared by a design professional licensed by the State of Kansas showing compliance with the applicable codes and standards for the proposed use and occupancy.
 - (3) **Height.** The sidewall height of buildings designed under these provisions shall not exceed fourteen (14) feet or one (1) story in height.
 - (4) **Building dimensions.** The maximum width dimension of a building designed under these provisions shall not exceed forty (40) feet.
 - (5) **Braced wall.** Buildings shall be provided with exterior braced walls. Bracing shall be located in the sidewalls at each corner by means of a nominal two (2) inch by four (4) inch diagonal brace or other approved bracing.
 - (6) **Openings in exterior walls.** No single opening for doors, windows or other purposes that exceed sixteen (16) feet in width shall be placed in exterior walls. Buildings that are open on one (1) side shall have posts embedded two (2) feet deeper than the depth required by subsection (f)(2) of this Section or shall be provided with an acceptable brace for wind resistance.

(7) Exit required. At least one (1) exit door complying with this Section shall be provided. Exit doors shall be of the pivoted or side hinged swinging type. The exit door opening shall be of a size to permit the installation of a door not less than three (3) feet (914 mm) in width and not less than six (6) feet eight (8) inches (2,032 mm) in height. The exit door shall be openable from the inside without the use of a key or any special knowledge or special effort.

(d) Definitions. As used in this Section, the following terms shall have these prescribed meanings:

AGRICULTURAL BUILDING — A building that is used solely for the storage of machinery, equipment, shelter for livestock or commodities that are raised on site or other operations related to carrying on the farming operations on a tract of land of twenty (20) contiguous acres or more in area.

BRACED WALL — A wall that has been provided with diagonal bracing which meets the requirements of subsection (g)(5).

BUTT ENCASED — Concrete encasement of a pole or post at the lower twelve (12) inches of its embedment in the earth.

FOOTING — That portion of the foundation that spreads and transmits loads directly to the soil.

GIRT — The horizontal wall framing members that span between posts and are used to support the exterior wall covering.

POLE OR POST — A preservative treated round, square or rectangular wood member, that is solid sawn or laminated and is intended to be embedded in the ground to support building structural loads and transmit the loads to the footing.

PURLIN — The structural members that span between rafters or trusses used to attach and support metal roof coverings and transfer the roof loads to the rafters or trusses.

(e) Design Loads.

(1) Live load. The roof snow load shall be twenty (20) pounds per square foot.

EXCEPTION: Agricultural buildings.

(2) Dead load. The roof dead load shall be four (4) pounds per square foot for roofs that utilize a metal roof covering. Dead loads of seven (7) pounds per square foot shall be used if wood shakes, wood shingles or asphalt composition shingles are utilized. If other roof coverings are used, the loading specified by the roof covering manufacturer shall apply.

EXCEPTION: Agricultural buildings.

(3) Wind load. Buildings designed and constructed under these provisions shall be considered to be designed for a ninety (90) mph wind located in an exposure C wind zone.

(4) Foundation design. Foundations for buildings designed and constructed under provisions of these requirements shall be designed and installed in accordance with this Section.

Foundations shall be designed to support the imposed load and be capable of resisting wind uplift and overturning. The loading requirements that shall be applicable for buildings designed and constructed under these provisions shall be as specified in this Section.

(f) Foundation Design.

- (1) Foundation diameter. The diameter of holes for pole or post foundations and the required footing thickness shall be in accordance with Table 9-207.1. Footings shall be placed to a depth so that building loads are supported on natural undisturbed soils. Unless unusual site conditions exist, soils bearing capacity shall be assumed to have a one thousand five hundred (1,500) p.s.f. bearing capacity.
- (2) Pole or post embedment. Poles or posts shall be embedded in the earth to a minimum depth of four (4) feet (1,219 mm).
- (3) Shallow pole or post embedment. When it is necessary to use a pole or post embedment depth of less than forty (40) inches but not less than thirty (30) inches due to rock or other local site conditions, knee bracing shall be provided and the post foundation hole shall be backfilled to grade with concrete. Embedment depth of less than thirty (30) inches is not allowed under this standard.
- (4) Backfill. Footings of concrete, one (1) inch or larger gravel or other approved materials shall be placed under poles or posts. Footings shall have a minimum thickness in accordance with Table 2-212.1. Posts shall be either but encased with concrete or be fully embedded with concrete or be provided with other approved means to provide for resistance to wind uplift. If posts are provided with encasement or blocked anchors, the remaining annular space of the post foundation holes shall be backfilled by firmly tamping clean soil or sand in maximum eight (8) inch layers.

Table 2-212.1

Minimum Footing Dimensions

<u>Building Width</u>	<u>Post Spacing</u>	<u>Footing Thickness</u>	<u>Footing Diameter</u>
24	8 to 10 feet	8 inches	15 inches
30	8 to 10 feet	8 inches	17 inches
36	8 to 10 feet	8 inches	18 inches
40	8 to 10 feet	8 inches	18 inches

See Figure 2-212.1(a) through (c) for examples of allowed methods of providing uplift resistance and backfilling post holes.

- (5) Concrete placement. Concrete used for footings or post encasement shall be placed as wet mix.
- (6) Pole or post anchor. Poles or posts shall be anchored to the encasing concrete, whether butt encased or fully encased, with a minimum one-half (1/2) inch reinforcing bar placed through a drilled hole in the pole or post. The rebar shall have a minimum one (1) inch of concrete cover from the bottom and top of the encasing concrete. Blocked anchors shall be provided when the backfill of the annular space consists of earth, sand or gravel tamped in eight (8) inch layers. Blocked anchors shall be of the same dimension as the base of the post.

(g) Wall Construction.

- (1) Pole or post size and spacing. Poles or posts may be solid sawn or laminated. Poles or posts shall be of a minimum dimension as required by Table 9-207.2 based upon the building height and spacing of posts. The spacing of poles or posts shall not exceed the maximum shown in Table 2-212.2 for the dimension of post that will be used.
- (2) Wood subject to decay or termite damage.
 - (A) Wood embedded in ground or concrete. Wood embedded in the ground or in direct contact with the earth and used for the support of permanent structures shall be treated for ground contact. Wood supporting permanent structures that are embedded in concrete in direct contact with earth or embedded in concrete exposed to the weather shall be treated for ground contact. Wood which is in contact with the ground shall be treated for ground contact. All treated wood shall bear a stamp from an approved agency identifying the treatment retention of the member.
 - (A) NOTE: It is recommended that any wood that is embedded in the earth or embedded in concrete that is in direct contact with the earth be pressure preservative treated to a retention level of six-tenths (0.6) pounds per cubic foot in accordance with AWPA Standard C22.
 - (B) Wood in contact with the earth or subject to water splash. Wood that is in contact with the ground or is located within eighteen (18) inches of the ground surface shall be pressure preservative treated or wood of natural resistance to decay and termites.

Table 2-212.2
Post Size and Spacing Requirements

<u>Post Size²</u>	Effective Building Height in Feet ¹			
	8	10	12	14
<u>Pole or Post Spacing in Feet</u>				
<u>Solid Sawn</u>				
4 x 4 nominal	7	6	4	4
4 x 6 nominal	15	12	9	8
6 x 6 nominal	15	15	15	15
<u>Laminated</u>				
2-2 x 6 laminated	7	6	4	4
3-2 x 6 laminated	15	14	10.5	10
4-2 x 8 laminated	16	16	16	16

1 For roof slopes 4:12 or less, the effective height is the vertical distance from grade level to the eave. For roof slopes greater than 4:12, the effective building height is the vertical distance from grade level to the eave, plus one-half (1/2) of the roof height.

2 The larger post dimension shall be in the same direction of the building width.

(3) Girt framing. When siding is to be attached to the exterior walls of pole or post framed buildings, wall girts shall be installed. Wall girts shall be of a minimum size for the span as required by Table 2-212.3

Table 2-212.3
Wall Girt Spans

Girt Span	8 feet	10 feet	12 feet
	2x4 24 inches O.C.	2x6 36 inches O.C.	2x6 36 inches O.C.
	2x6 36 inches O.C.		

(4) Girt nailing. Girts shall be fastened to the posts using 16d ring shank hot-dipped galvanized nails or other approved fasteners.

(5) Bracing. Exterior side walls shall be braced at building corners. Braces shall be minimum 2x4 nominal dimension lumber installed diagonally or be of other approved bracing materials.

(6) Exterior wall covering. Exterior wall coverings, when provided, shall be of an approved weather-resistant material. Steel panel exterior wall coverings shall be of minimum twenty-nine (29) gauge.

(7) Headers and beams. Headers or beams required to support building loads shall be designed to safely carry the imposed loads.

(8) Beam support. Beams, headers or girders that are used to support roof framing shall be supported by notches in the poles or posts and shall be secured by one-half (1/2) inch diameter bolts secured with washers and nuts or one-half (1/2) inch by four and one-half (4 1/2) inch lags.

(9) Fasteners. Fasteners for pressure-preservative treated wood and fasteners used in locations exposed to weather shall be of hot-dipped zinc galvanized, aluminum alloy wire fasteners or stainless steel fasteners.

(h) Roof Ceiling Construction.

(1) General. Roof framing may be of conventional light frame construction as allowed by Chapter 23 of the International Building Code, 2018 Edition or may be of trusses as specified by Subsection (H)(2) of this Section or may be of other alternate designs that have been designed by a professional engineer licensed by the State of Kansas.

(2) Trusses. Trusses may be site built or be shop fabricated. Trusses shall be designed by a professional engineer licensed by the State of Kansas to practice in the design of buildings.

(3) Conventional framing. The framing details for conventional roof construction shall conform to the requirements of Chapter 23 of the International Building Code, 2018 Edition.

(4) Roof members to building frame tie. Blocking, straps, approved framing anchors or mechanical fasteners shall be installed from the side of the roof framing member to the exterior posts or other supporting members.

- (4) Tie straps shall be one and one-eighth (1 1/8) inch (28.6 mm) by thirty-six thousandths (0.036) inch (0.91 mm) (No. 20 gauge) sheet steel and shall be corrosion resistant.
- (5) Purlins, Purlins shall be installed with the wide dimension perpendicular to the load that it supports. Purlins shall be supported on top of the trusses or shall be provided with approved hangers. The span of purlins shall not exceed the values specified in Table 2-212.4.
- (6) Roof covering. The roof covering shall be of an approved material as specified by Chapter 15 of the International Building Code, 2018 Edition.

Table 2-212.4

Purlin Spans

(Based on Purlin Spacing of twenty-four (24) inches Center to Center)

<u>Grade</u>	<u>Dimension</u>	<u>Maximum Span (Feet)</u>
#1	2x4	8' 6"
	2x6	12'3"
	2x8	15'9"
#2	2x4	8'
	2x6	12'
	2x8	15'
#3	2x4	6'
	2x6	9'
	2x8	11'

FPN: The spans given in this table are based upon use of Spruce-Pine-Fir design values. Spans may vary depending on the lumber species which is used.

FIGURE 2-212.1 Examples of Post Embedment

FIGURE 2-212.1(a) Butt-Cased

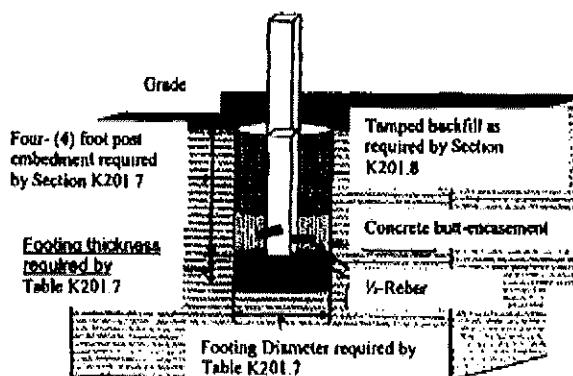
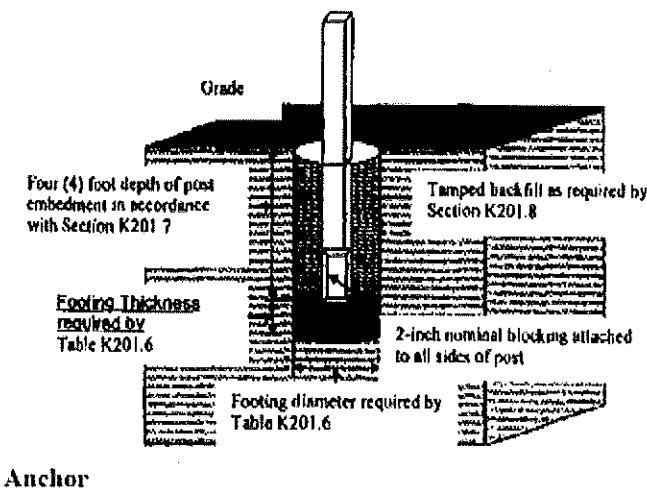
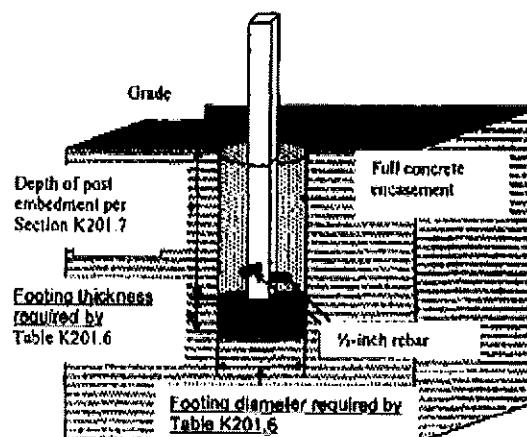


FIGURE 2-212.1(b) Blocked



Anchor

FIGURE 2-212.1(c) Full Concrete



Casement

(Prior Code §500.300; Code 2021)

4-210. Incorporation of International Existing Building Code; Amendments and Deletions.

(a) There is incorporated by reference, for the purpose of adopting regulations, provisions, terms and specifications for the control of buildings and structures within the incorporated areas of the City of Paola, adoption of International Existing Building Code (2018); amendments. The International Existing Building Code (2018), promulgated by the International Code Council, is adopted and incorporated in this article by reference as if fully set forth, except as it is amended by the following provisions of this section. Provisions of this article are in addition to the provisions of the International Existing Building Code. The following provisions coinciding with provisions of the International Existing Building Code supersede, or

delete, when indicated, the corresponding provisions of the International Existing Building Code. All references within the model codes to any building, electrical, gas, mechanical, plumbing, sewage disposal, elevator, energy conservation, or existing building code shall be construed to be a reference to the respective building, electrical, gas, mechanical, plumbing, sewage disposal, elevator, energy conservation, or existing building code specifically adopted by reference in Articles II through XIV of this chapter.

■ 4-211. Incorporation Of American Public Works Association Construction Standards.

(a) Incorporating The American Public Works Association Construction Standards. There is hereby incorporated by reference for the purpose of regulating construction standards within the corporate limits of the City of Paola, Kansas, that certain code known as the "American Public Works Association Construction Standards," prepared and published in electronic form by the Kansas City Metro Chapter of American Public Works Association, Kansas; no less than one (!) copy of said APWA Policy shall be marked or stamped "OFFICIAL COPY AS ADOPTED BY ORDINANCE NO. 3133," to which shall be attached a copy of this Section, and filed with the City Clerk to be open to inspection and available to the public at all reasonable hours.

Section 2. That this ordinance shall become effective after its passage, approval and publication in the official city newspaper pursuant to KSA 12-3001, et seq.

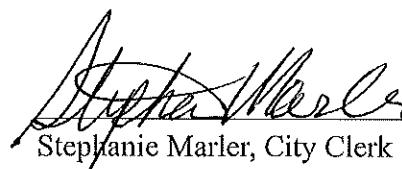
PASSED AND APPROVED by the Governing Body this 8th day of November, 2022.

APPROVED by the Mayor this 8th day of November, 2022.



ATTEST: [seal]


Leigh House, Mayor


Stephanie Marler, City Clerk