



Paola Planning Commission / Board of Zoning Appeals Agenda

Tuesday, October 18, 2022 - 5:00 PM

Paola Justice Center - 805 North Pearl

YouTube Link:

https://www.youtube.com/channel/UCElqDJzXV_XvXznUfKQomw/featured?view_as=subscriber

1. Pledge of Allegiance.
2. Introduction of New Planning Commissioners.
3. Approval of the minutes from the September 20, 2022 meeting.
4. Consideration and vote to recommend approval of final site plan for Paola Synthetic Turf Ballfields, Mammoth Sports Construction, applicant.
5. Community / Economic Development Director Report.
6. Adjournment.

Note: When addressing the Commission, please step to the podium and state your name and address so that it can be recorded in the minutes of the meeting. In compliance with the American with Disabilities Act, individuals needing assistance or other services or accommodation for this meeting should contact Jessica Newton at least 24 hours in advance of this meeting at 259-3600.

**NEXT SCHEDULED MEETING
NOVEMBER 15, 2022**



PLANNING COMMISSION /
BOARD OF ZONING APPEALS
SEPTEMBER 20, 2022 MEETING MINUTES

Commissioners Present: Cowman, DeGrande, McLean, Parks, Scott

Commissioners Absent: Nickelson

Others Present: Jessica Newton - City Planner

Item 1: **Pledge of Allegiance.**

Item 2: **Consideration of minutes from the August 16, 2022 meeting.**

Commissioner Cowman called the meeting to order. The first order of business was the consideration and approval of the minutes from the August 16, 2022 meeting.

Commissioners McLean and DeGrande made a motion to approve the minutes from the August 16, 2022 meeting with all Commissioners voting in favor.

Item 3: **Consideration and vote to recommend approval of final site plan for a Scooter's Coffee, 324 Hedge Circle, Holy Grounds, applicant.**

Planner Newton presented background information on the application for final site plan approval for the proposed 678 square foot drive-thru coffee shop. The site is approximately 0.65 acres and the proposed building is situated towards the southwest corner of the lot. The site plan was completed by Phelps Engineering, Inc and reviewed by Wilson and Company. Phelps Engineering is currently working to respond to comments by the reviewer.

Commissioner McLean expressed concern over traffic coming out on Hedge Lane.

Commissioner Parks asked the distance between the Wal-Mart entrance and the Scooter's entrance on Hedge Lane. Planner Newton stated that the construction entrance was in roughly the same location as the entrance to Scooter's from Hedge Lane. Planner Newton also stated the entrance/exit from the new development was approved with the public improvement site plan previously for the Paola Crossings District.

Commissioner McLean asked if there would be sidewalks. Planner Newton stated there is a sidewalk in front (south side of the lot) of Scooter's.

Commissioner Cowman pointed out there is a sidewalk on the opposite side of Hedge Lane that runs north and south on the entire road.

Commissioner Parks and Scott made a motion to recommend approval with all Commissioners voting in favor of the final site plan for 324 Hedge Circle, with the condition that the applicant satisfies Wilson and Company comments. Revised site plan information in compliance with this motion is to be submitted and approved by the City Planner.

Item 4: Public Hearing: Consideration and vote on Land Development Ordinance Article 3 text amendment, City of Paola, applicant.

Commissioners McLean and Scott made a motion to open the Public Hearing with all Commissioners voting in favor.

No Public Comments.

Commissioners McLean and DeGrande made a motion to close the Public Hearing with all Commissioners voting in favor.

City Planner Newton presented background information on the proposed revisions to Section 03.210 Accessory Uses, Residential of the Land Development Ordinance (LDO). Research from surrounding municipalities and Commissioner input from previous Planning Commission meetings (06/21/22 and 07/19/22) were used to determine more flexible storage options of boats, recreational vehicles, and/or commercial vehicles. Current LDO language allows for storage of such items only when they meet the setback requirements of accessory structures.

Commission Scott asked to clarify Item 6 wording "...parked on is required to be a hard surfaced parking pad if the parking area takes direct access from a hard surface." Planner Newton clarified that if the parking pad was attached to a driveway, the pad must be hard surface; however if the parking pad is in the rear or side of the property and can be maintained dirt-free and rut-free, the drive and pad does not need to be hard surfaced.

Commissioners Cowman and DeGrande made a motion to recommend approval with all Commissioners voting in favor of the text amendment for Section 03.210 Accessory Uses, Residential of the Land Development Ordinance.

Item 5: Community / Economic Development Director Report

Planner Newton presented the following:

1. 373 Building Permits
2. Rausch Coleman was approved for 2 new home permits
3. Lakemary drainage study for the east side is approved
4. 2 E Peoria is under construction to become Reach Church
5. New housing incentive approved by City Council

Item 6: Adjournment

Commissioners Scott and DeGrande made a motion to adjourn with all Commissioners voting in favor.



SUBJECT: Final Site Plan Review - Wallace Park Ballfields

CONTACT: Jessica Newton, City Planner

DATE: October 18, 2022

Introduction:

Case Number: 22-PLAN-05
Applicant: Mammoth Sports Construction
Subject Property: E. Wallace St - Wallace Park Ballfields
Zoning: Suburban (S)

Background:

This is a request for site plan approval of two newly constructed synthetic turf fields replacing one existing natural turf field in Wallace Park. The site plan submitted by Mammoth Sports Construction was completed by CEI Engineering Associates, Inc. The City of Paola requested the professional services of Wilson and Company to review the site plan and make comments as required. The total area of disturbance for this project is 4.06 acres, which includes the extension of the existing gravel parking lot on the north side of the fields. Mammoth Sports Construction has also submitted the required Notice of Intent and Storm Water Pollution Prevention Plan to the State of Kansas.

Zoning:

MINIMUM SITE AREA (Table 4.110 A.)

- Required: 4 acres
- Provided: 4.06 acres (total area of disturbance)

PARKING (Table 3.110 A., Table 3.110 B., Section 12.411)

General

- Required: 1 per 4 feet of bleacher area OR 30/field, whichever is greater
- Provided: North side gravel lot = 67, West side gravel lot = 32

Handicapped

- Required: 3
- Provided: 3 (City will provide signage in the west lot)

Parking Surface Type

- Required: 12.430 C. Gravel may be considered for parking areas associated with outdoor recreation facilities.
- Provided: Gravel parking

Additional Parking

Public Works will construct a walking trail from the Paola Family Pool parking lot connecting to the gravel lot north of the ball fields.

LIGHTING (LDO 12.530)

- Required: Maximum permitted post height of eighty (80) feet
- Provided: 70'
- Note: Also to be installed on one outfield pole - parking lot lighting as shown on lighting plan included

Discussion:

Does the Planning Commission wish to recommend approval of the proposed Final Site Plan of Wallace Park Ballfields

Recommendation:

I recommend the site plan for the Wallace Park Ballfields be approved.

Findings:

1. The application is consistent with §21.625 of the LDO.
2. The application will not be detrimental to the health, safety, or general welfare of the community.

Action:

The Planning Commission may take action by majority vote of the members present.

Motion:

I move to recommend approval / denial of the Final Site Plan for Wallace Park Ballfields (with the following conditions...).

Attachments:

1. Application
2. Civil Plan Set
3. Lighting Plan
4. Light Pole Spec Sheet



City of Paola

Final Development Plan Application

received
19/26/2022 JN

Community Development Department • 19 E Peoria St • Paola, KS 66071 • (913) 259-3611

Development Name:	Paola Wallace Park, Phase 1 Field Construction		
Address or Vicinity:	E. WALLACE ST		
Range:	23	Township:	17
Section:	21	Quadrant:	
Current Zoning and Land Use:	Suburban		
Proposed Land Use:	Outdoor Recreation		

APPLICANT INFORMATION

Applicant Name:	Mammoth Sports Construction		
Applicant Address:	601 E. Wyandotte St., Meriden, KS 66512		
Contact Phone:	816-352-1993	Email:	Connor@mammothbuilt.com

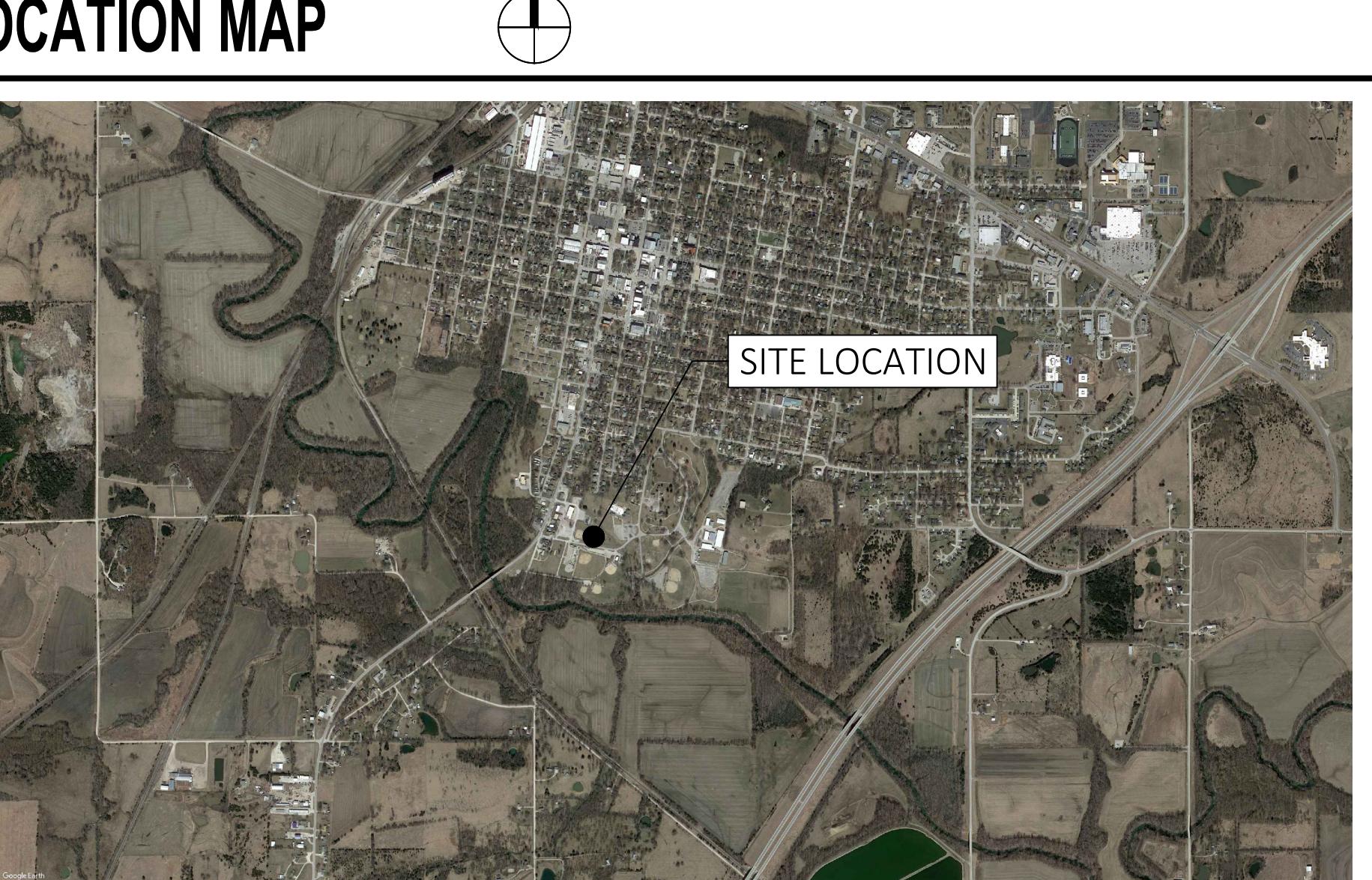
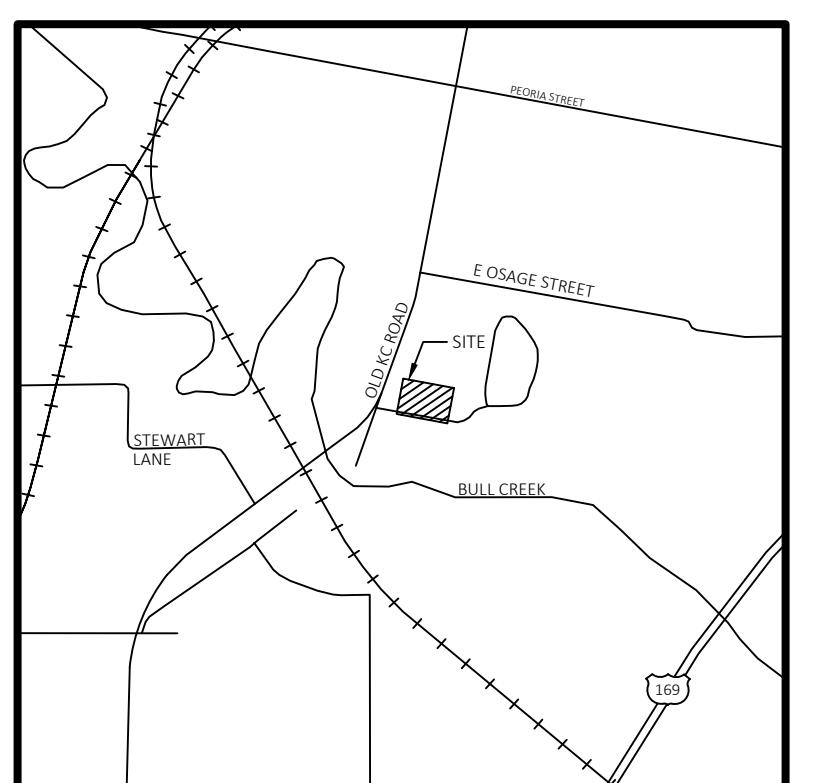
OWNER INFORMATION

Owners Name:	City of Paola, KS		
Owners Address:	19 E Peoria, St., Paola, KS 66071		
Contact Phone:	913-259-3600	Email:	jnewton@paolagov.org

ARCHITECT/ENGINEER INFORMATION

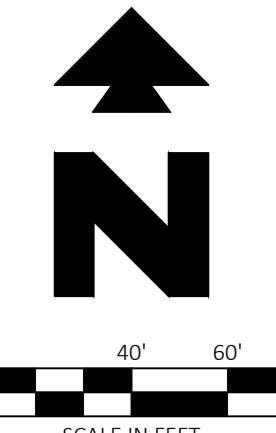
Company Name:	CEI Engineering Associates, Inc.		
Company Address:	3030 LBJ Freeway, Suite 100, Dallas, TX 75234		
Contact Phone:	972-488-3737	Email:	

Applicant Signature:	Dylan Medlock	<small>Digitally signed by Dylan Medlock DN: C=US, E=dmedlock@mammothbuilt.com, O=Mammoth Sports Construction, OU=Engineering, CN=Dylan Medlock Reason: I am the author of this document Date: 2022.09.26 15:20:57-05:00</small>	Engineering Principal
Date of Application:	09-26-2022		

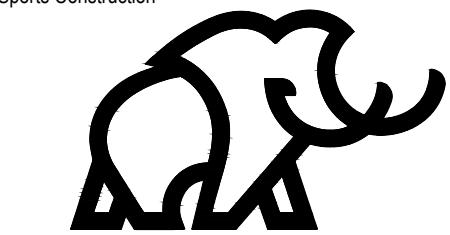
															Copyright © 2021 Mammoth Sports Construction	
															 MAMMOTH <small>SPORTS CONSTRUCTION</small>	
															 CEI <small>Solutions for Land and Life</small>	
															CEI ENGINEERING ASSOCIATES, INC. 3030 LBJ FREEWAY, SUITE 100 DALLAS, TX 75234 PHONE: (972) 488-3737 FAX: (972) 488-6732	
															PAOLA SYNTHETIC TURF BALLFIELDS 1006 S PEARL STREET PAOLA, KANSAS	
																
															Project No. 32657 ISSUED FOR REVIEW	
															<hr/> PROJECT DIRECTORY <hr/> OWNER The City of Paola, Kansas 19 E Peoria Paola, KS 66071 Phone: 913-259-3600	
															NOTES <hr/> <p>A. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.</p> <p>B. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.</p> <p>C. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.</p> <p>D. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.</p> <p>E. WARRANTY/DISCLAIMERS: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.</p> <p>F. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.</p> <p>G. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.</p>	
															SHEET INDEX <hr/> <p>C0 COVER SHEET C1 EXISTING SITE PLAN C2 DEMOLITION PLAN C3 EROSION CONTROL PLAN C4 EROSION CONTROL NOTES C5 UTILITY PLAN C6 GRADING & DRAINAGE PLAN C7 SURFACE PLAN C8 DETAIL SHEET 1 C9 DETAIL SHEET 2 C10 DETAIL SHEET 3</p>	
															LOCATION MAP 	
															SITE MAP 	
															VICINITY MAP <small>NOT TO SCALE</small>	
															Project Manager: _____ C Project Engineer: _____ CTH Checked By: _____ JJB Project Number: _____ 32657 B Date of Issue: _____ 9/21/2022 Sheet Number: _____ 9/21/2022 C0 COVER	



SITE BENCHMARK
SITE BENCHMARK #1: CP-5531 IS LOCATED APPROXIMATELY
43 FEET WEST OF PACOLA POOL PARKING LOT.
NORTH: 2347472.5766
EASTING: 2347472.5768
ELEVATION = 859.56'



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Mammoth Sports Construction



CEI ENGINEERING ASSOCIATES, INC.
3030 LBJ FREEWAY, SUITE 100
PHONE: (972) 488-3737
FAX: (972) 488-6732

PAOLA SYNTHETIC TURF BALLFIELDS
1006 S PEARL STREET
PAOLA, KANSAS



9/21/2022

Revision Key

No. Date Revision

REV-1

Project Manager:

CTH

Project Engineer:

JJB

Checked By:

DD

Project Number:

32657

Date of Issue:

9/21/2022

Sheet Number:

C1

EXISTING SITE PLAN

EXISTING LEGEND

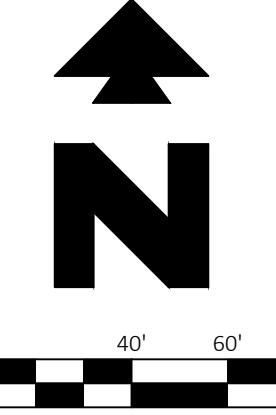
e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
o	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
u	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"V	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO
	STORM DRAIN	5 = DIAMETER OF TRUNK IN FEET	10 = HEIGHT OF TREE IN FEET
		11 = CANOPY DIAMETER IN FEET	50.5 = ELEVATION AT BASE OF TREE
		X'G	GAS
		OHE	OVERHEAD ELECTRIC
		OHE&T	OVERHEAD ELECTRIC AND TELEPHONE



MAMMOTH

SPORTS CONSTRUCTION

now what's below.
Call before you dig.



A scale bar consisting of a black and white checkered pattern. Above the pattern, the text "40'", "60'", and "80'" is centered. Below the pattern, the text "SCALE IN FEET" is centered. To the right of the scale bar, the letters "K" and "r" are written vertically.

EXISTING LEGEND

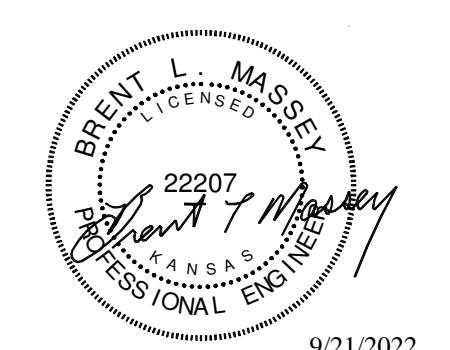
e	EAST OR ELECTRIC	—	OHT	—	OVERHEAD TELEPHONE
n	NORTH	—	OHTV	—	OVERHEAD TV
oh	OVERHEAD	—	X"SS	—	SANITARY SEWER
s	SOUTH OR SEWER	—	UGE	—	UNDERGROUND ELECTRIC
t	TELEPHONE	—	UGE&T	—	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	—	UGT	—	UNDERGROUND TELEPHONE
w	WEST OR WATER	—	UGTV	—	UNDERGROUND TV
— — — — —	PROPERTY LINE	—	X"W	—	WATER
— — — — —	RIGHT OF WAY LINE	—			
— — — — —	STORM DRAIN	—			
— X"G —	GAS	.5-10-11 50.5			TREE INFO
— OHE —	OVERHEAD ELECTRIC				.5 = DIAMETER OF TRUNK IN FEET
— OHE&T —	OVERHEAD ELECTRIC AND TELEPHONE				10 = HEIGHT OF TREE IN FEET
					11 = CANOPY DIAMETER IN FEET
					50.5 = ELEVATION AT BASE OF TREE

GENERAL DEMOLITION NOTES

- A. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "CITY OF PAOLA STANDARD SITE WORK SPECIFICATIONS".
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- C. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- D. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- E. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ENGINEERING ASSOCIATES, INC.
3030 LBJ FREEWAY, SUITE 100
DALLAS, TX 75234
PHONE: (972) 488-3737
FAX: (972) 488-6732

PAOLA
SYNTHETIC TURF BALLFIELDS
1006 S PEARL STREET
PAOLA, KANSAS



Revision Key

No.	Date	Revision
		REV-1

3

Project Manager:

C CTH

Chapter 10

— 10 —

Date of Issue:

Sheet Number.

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DEMOLITION PLAN



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CEI ENGINEERING ASSOCIATES, INC.
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PAOLA
SYNTHETIC TURF BALLFIELDS
1006 S PEARL STREET
PAOLA, KANSAS



9/21/2022

Revision Key

No. Date Revision
REV-1 9/21/2022

Project Manager: CTH
Project Engineer: JJB
Checked By: DD
Project Number: 32657
Date of Issue: 9/21/2022
Sheet Number: C4

EROSION CONTROL
NOTES

GENERAL EROSION NOTES

A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF KANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

B. A COPY OF THE SWPPP AND EROSION CONTROL PLANS, INCLUDING APPLICABLE DETAIL SHEETS, MUST REMAIN ON SITE THROUGHOUT CONSTRUCTION AND MADE AVAILABLE TO THE PUBLIC UNTIL THE SITE IS TERMINATED AND/OR PERMANENTLY STABILIZED PER THE NPDES PERMIT.

C. THE CONTRACTOR MUST UPDATE THE SWPPP AND EROSION CONTROL PLANS TO REFLECT THE PROGRESS OF CONSTRUCTION AND GENERAL CHANGES TO THE PROJECT SITE. CHANGES MAY INCLUDE BMP INSTALLATION, MODIFICATION, OR REMOVAL, CONSTRUCTION ACTIVITIES, CLEARING, GRUBBING, OR GRADING, AND TEMPORARY OR PERMANENT STABILIZATION.

D. THE CONTRACTOR MUST ADHERE TO ANY HOURS OF WORK, NOISE LEVEL, OR OTHER CONSTRUCTION RELATED RESTRICTIONS IN ACCORDANCE WITH LOCAL OR STATE REGULATIONS.

E. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ANY OFF-SITE BORROW, SPOIL, OR STORAGE AREAS TO BE UTILIZED, BUT NOT PROVIDED WITHIN THE PROJECT'S LIMITS OF DISTURBANCE, ARE TO BE PROPERLY LICENSED AND PERMITTED.

F. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER AND DEPICTED ON THE ON SITE EROSION CONTROL PLAN.

G. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.

H. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.

I. ADEQUATE HOUSEKEEPING MEASURES SHALL BE IMPLEMENTED SO THAT LOOSE TRASH, MATERIALS, TOOLS, AND EQUIPMENT ARE COLLECTED AND PROPERLY STORED AT THE CONSTRUCTION SITE.

J. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

K. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES, DRAINAGE STRUCTURES, OR WATERS OF THE STATE.

L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY STABILIZED IMMEDIATELY.

N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IMMEDIATELY, BUT NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.

O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.

P. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.

R. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.

S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

T. SEDIMENT BASINS AND TRAPS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL AND/OR STATE ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.

U. ALL EXISTING AND PROPOSED STORM SEWER PIPES, DRAINAGE STRUCTURES, AND DRAINAGE DITCHES WITHIN THE PROJECT AREA SHALL BE CLEANED OF ANY TRASH AND ACCUMULATED SEDIMENT PRIOR TO FINAL STABILIZATION.

V. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, WATTLES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.

W. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

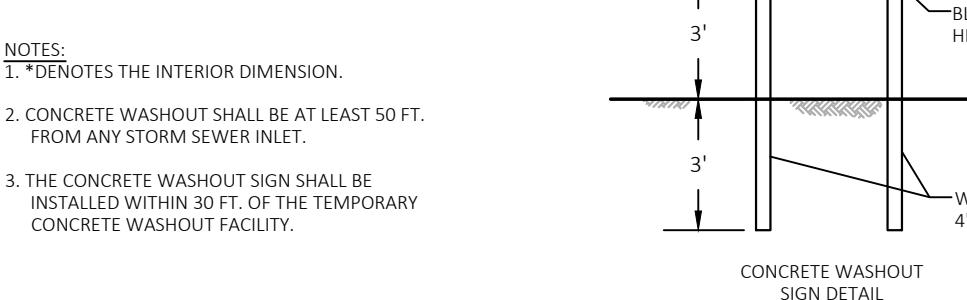
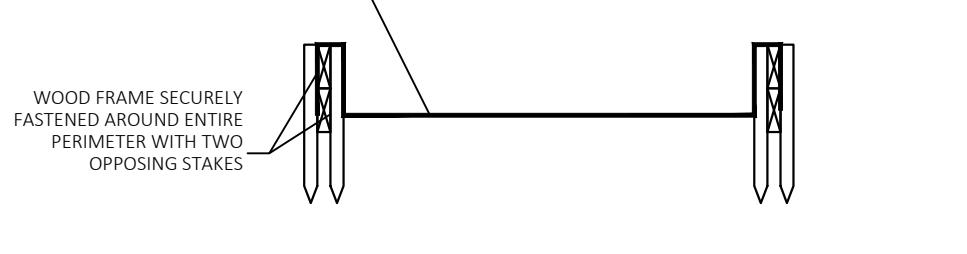
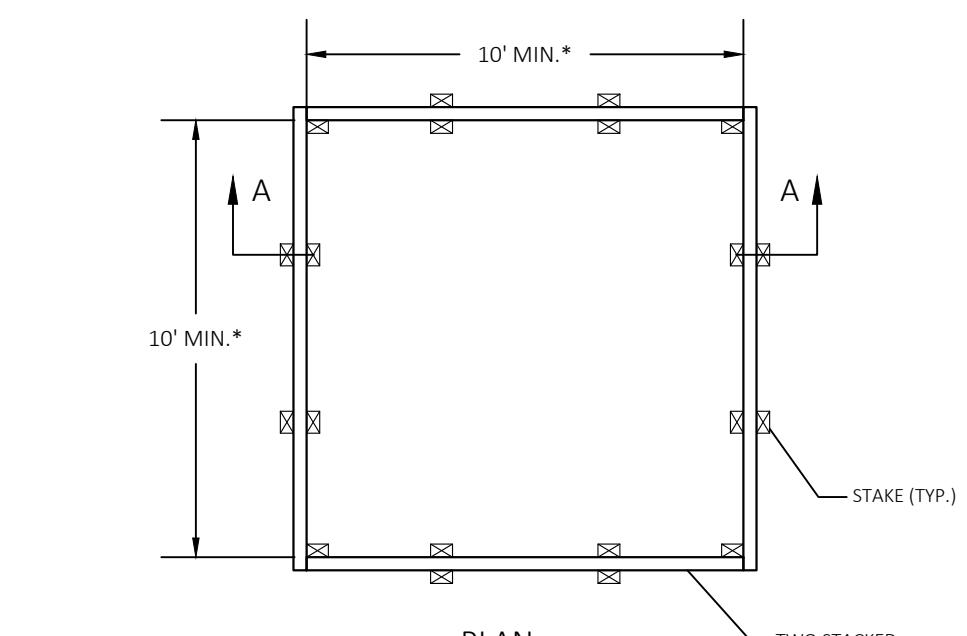
X. IN AN EMERGENCY SITUATION, THE CONTRACTOR IS RESPONSIBLE FOR MODIFYING OR ADDING BMP'S NECESSARY TO STOP POLLUTANT OR SEDIMENT DISCHARGES FROM THE CONSTRUCTION SITE AND PROTECT THE WATER QUALITY OF THE RECEIVING WATERBODY.

Y. IF AN EXCAVATION NEEDS TO BE Dewatered DUE TO A RECENT RAINFALL EVENT, THE CONTRACTOR CAN Dewater THE EXCAVATION VIA A PUMPED FILTER BAG. THE PUMPED FILTER BAG MUST DISCHARGE ONTO A STABILIZED SURFACE AND UPSTREAM OF AN EROSION CONTROL BMP LIKE A SEDIMENT BASIN/TRAP, SILT FENCE, OR OTHER PERIMETER BMP. IT IS STRICTLY PROHIBITED TO DISCHARGE THE PUMPED FILTER BAG INTO A STORM DRAIN OR OTHER CONVEYANCE STRUCTURE WITHOUT THE RUNOFF BEING TREATED VIA AN EROSION CONTROL BMP FIRST.

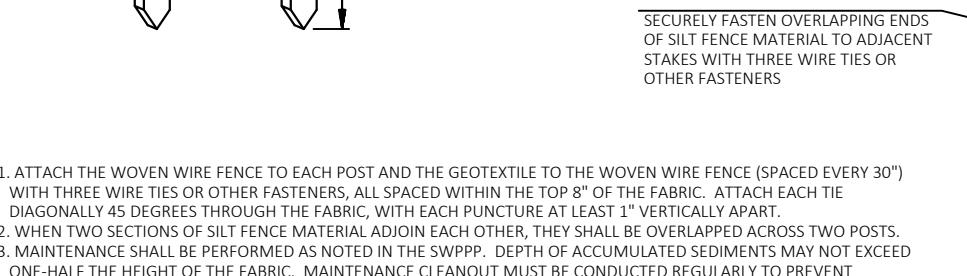
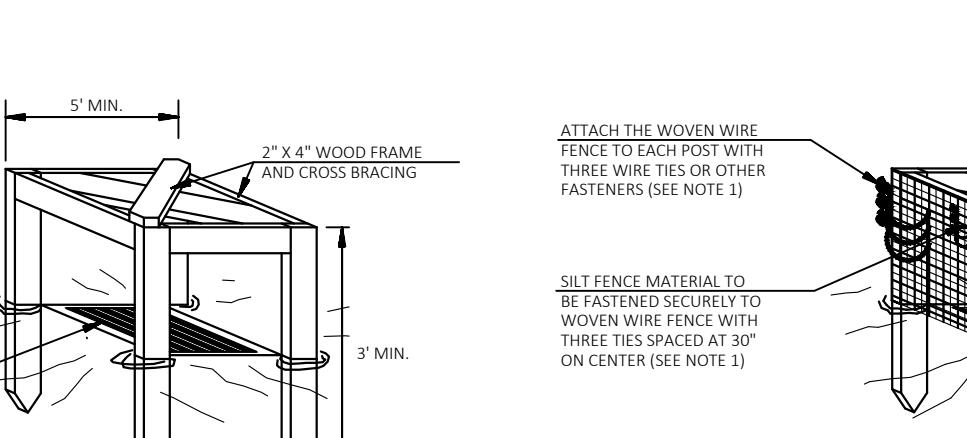
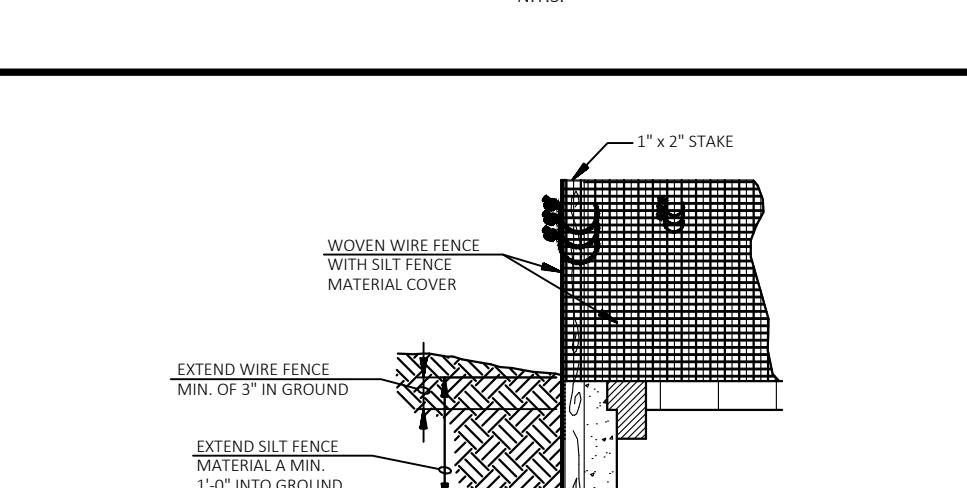
GENERAL EROSION NOTES CONT'D

Maintenance
All measures stated on this erosion and sediment control plan, and in the storm water pollution prevention plan, shall be maintained in fully functional condition until final stabilization of the site. All erosion and sedimentation control measures shall be checked by a qualified person at least once every 14 calendar days and within 24 hours of a rainfall event greater than 0.5-inches, and should be cleaned and repaired in accordance with the following:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEED AS NEEDED.
3. SILT FENCES AND WATTLES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES AND WATTLES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE BMP.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRICKLING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. THE EMBANKMENT OF THE SEDIMENTATION BASIN SHALL BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
7. THE TEMPORARY SEDIMENT TRAP AND SEDIMENTATION BASIN STRUCTURES SHALL BE CHECKED REGULARLY TO ENSURE THAT THEY ARE STRUCTURALLY SOUND AND HAVE NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
8. CONCRETE WASHOUT AREAS SHALL BE CHECKED REGULARLY FOR LEAKS AND CAPACITY. ALL LEAKS MUST BE REPAIRED IMMEDIATELY. WHEN THE WASHOUT VOLUME HAS BEEN REDUCED BY 85%, THE BMP MUST BE REMOVED AND REPLACED.



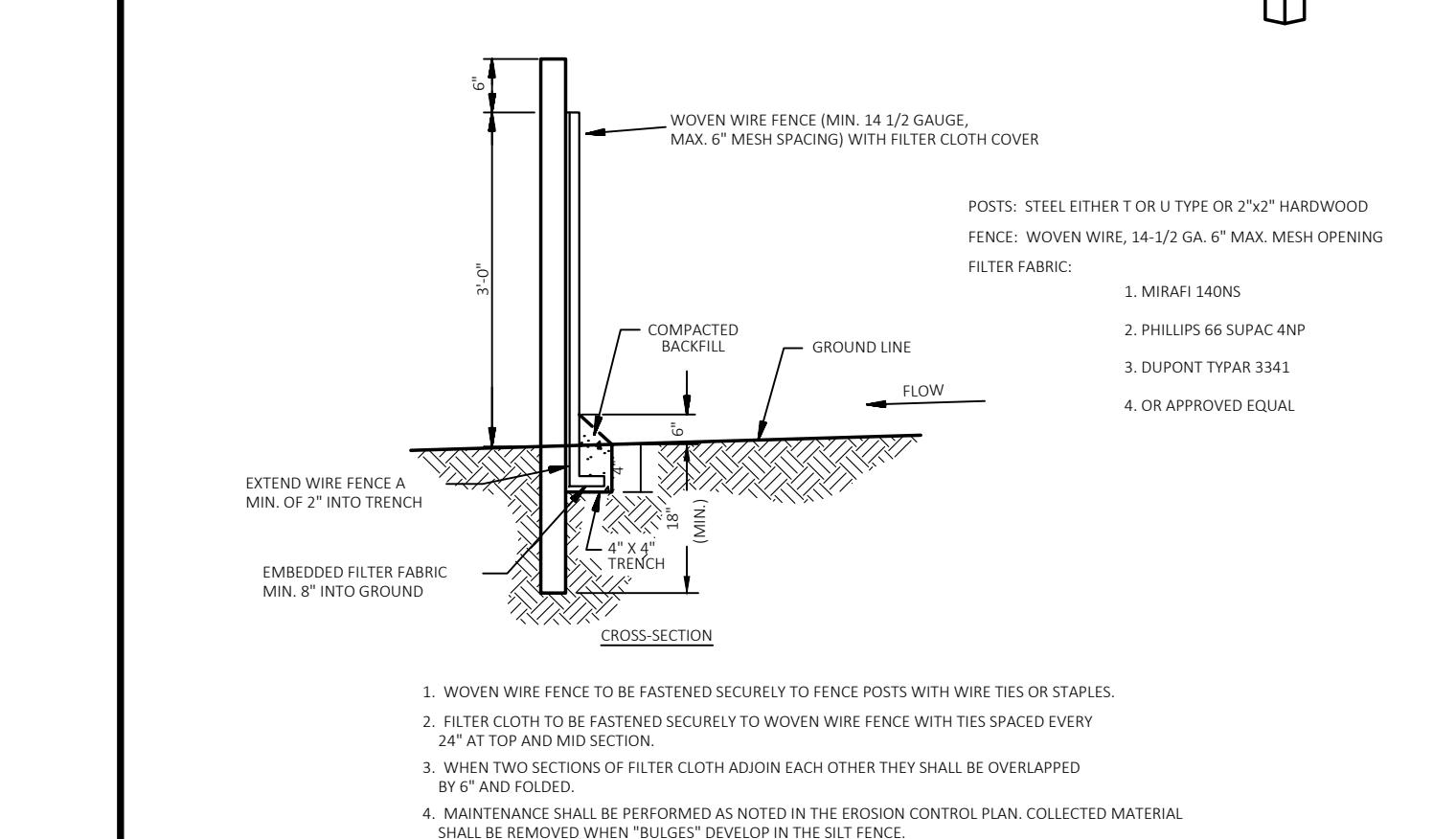
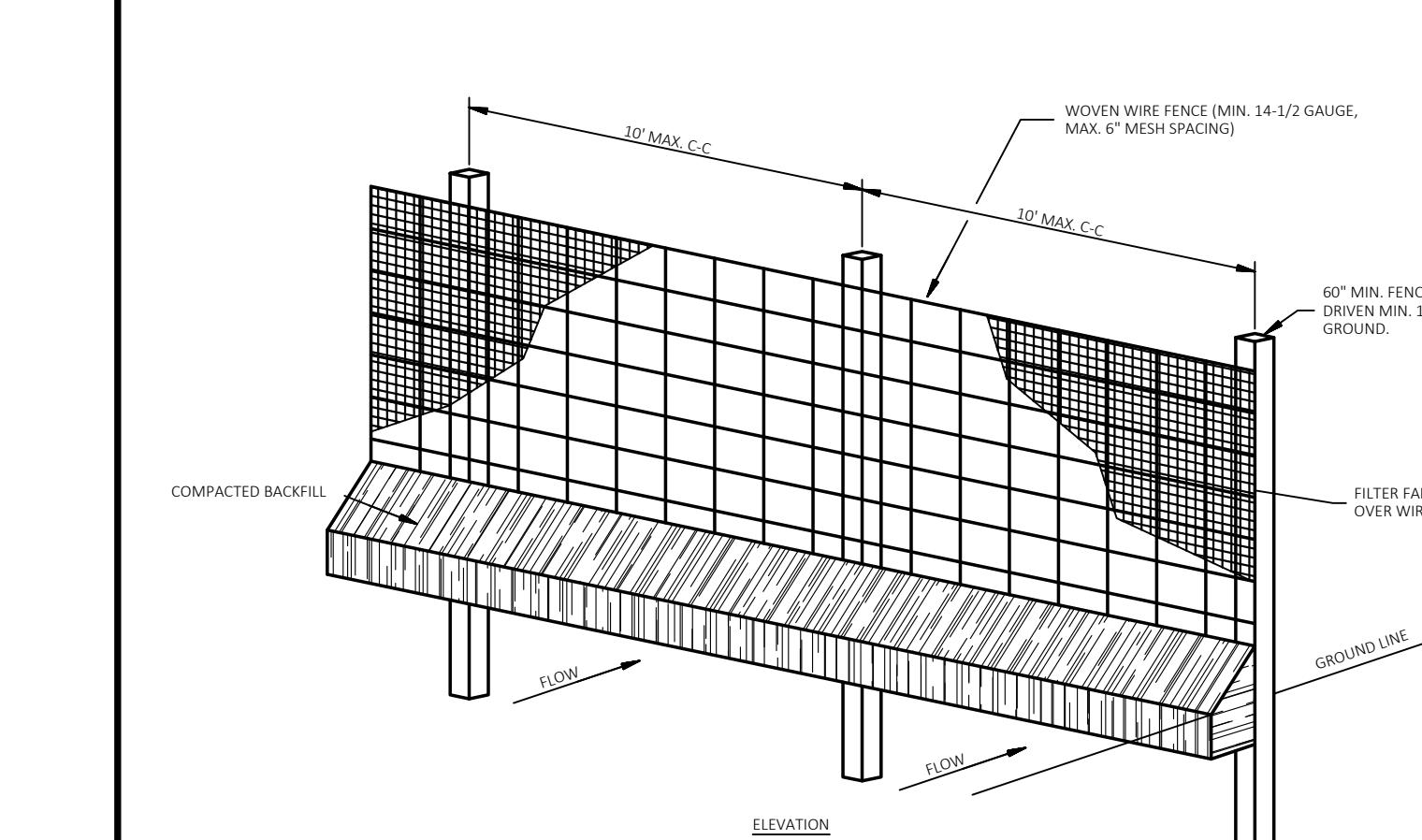
TEMPORARY CONCRETE WASHOUT
(ABOVE GRADE)
N.T.S.



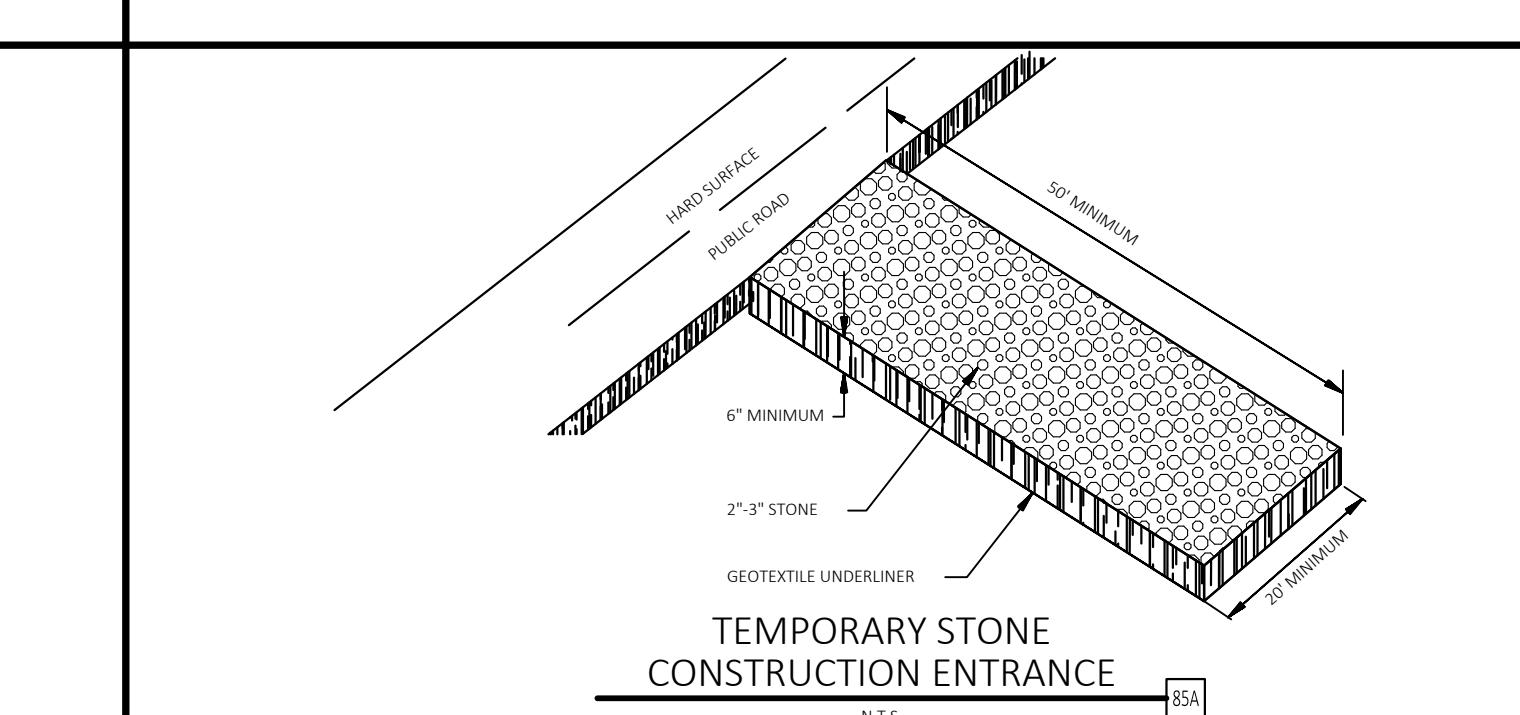
1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30') WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8' OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART FROM THE PREVIOUS PUNCTURE.
2. ATTACH THE WOVEN WIRE FENCE TO THE GEOTEXTILE WITH THREE WIRE TIES OR OTHER FASTENERS ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL BEING ABOVE GRADE.
4. ALL SILT FENCE MATERIAL SHALL INCLUDE WIRE SUPPORT

POSTS: 2x4 WOODEN STAKE
FENCE: WOVEN WIRE, 14-1/2 Ga.,
GEOTEXTILE: 60 GSF
FABRIC: IN ACCORDANCE WITH ASTM
D6461, LATEST EDITION

POSTS: 2x4 WOODEN STAKE
FENCE: WOVEN WIRE, 14-1/2 Ga.,
GEOTEXTILE: 60 GSF
FABRIC: IN ACCORDANCE WITH ASTM
D6461, LATEST EDITION



TEMPORARY SILT FENCE
N.T.S.



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SILT FENCE
INLET PROTECTION
N.T.S.

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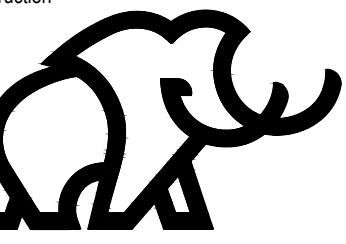
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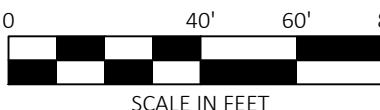
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MAMMOTH
SPORTS CONSTRUCTION



Know what's below.
Call before you dig.

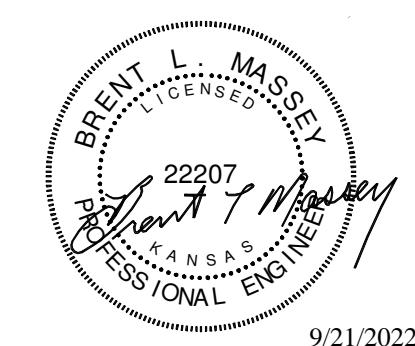
EXISTING LEGEND

e	EAST OR ELECTRIC	— OHT	OVERHEAD TELEPHONE
n	NORTH	— OHTV	OVERHEAD TV
oh	OVERHEAD	— X'SS	SANITARY SEWER
s	SOUTH OR SEWER	— UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	— UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	— UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	— UGTV	UNDERGROUND TV
	PROPERTY LINE	— X" W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO 5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
	X" G		
	OHE		
	OHE&T		



CEI ENGINEERING ASSOCIATES, INC.
3030 I-35 FREEWAY, SUITE 100
PAOLA, KS 66071
PHONE: (972) 488-3737
FAX: (972) 488-6732

PAOLA
SYNTHETIC TURF BALLFIELDS
1006 S PEARL STREET
PAOLA, KANSAS



Revision Key

No. Date Revision
REV-1

Project Manager: CTH

Project Engineer: JJB

Checked By: DD

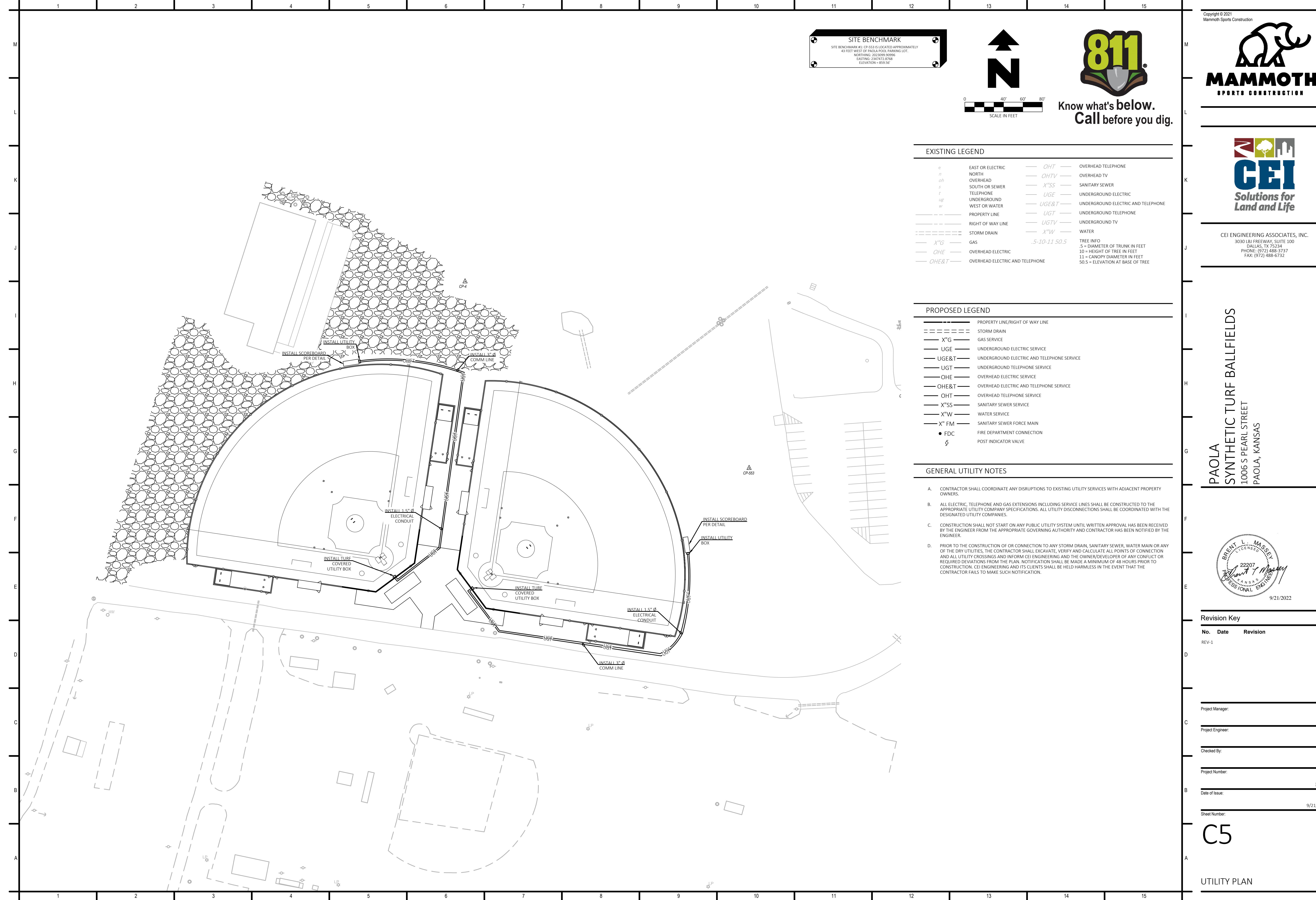
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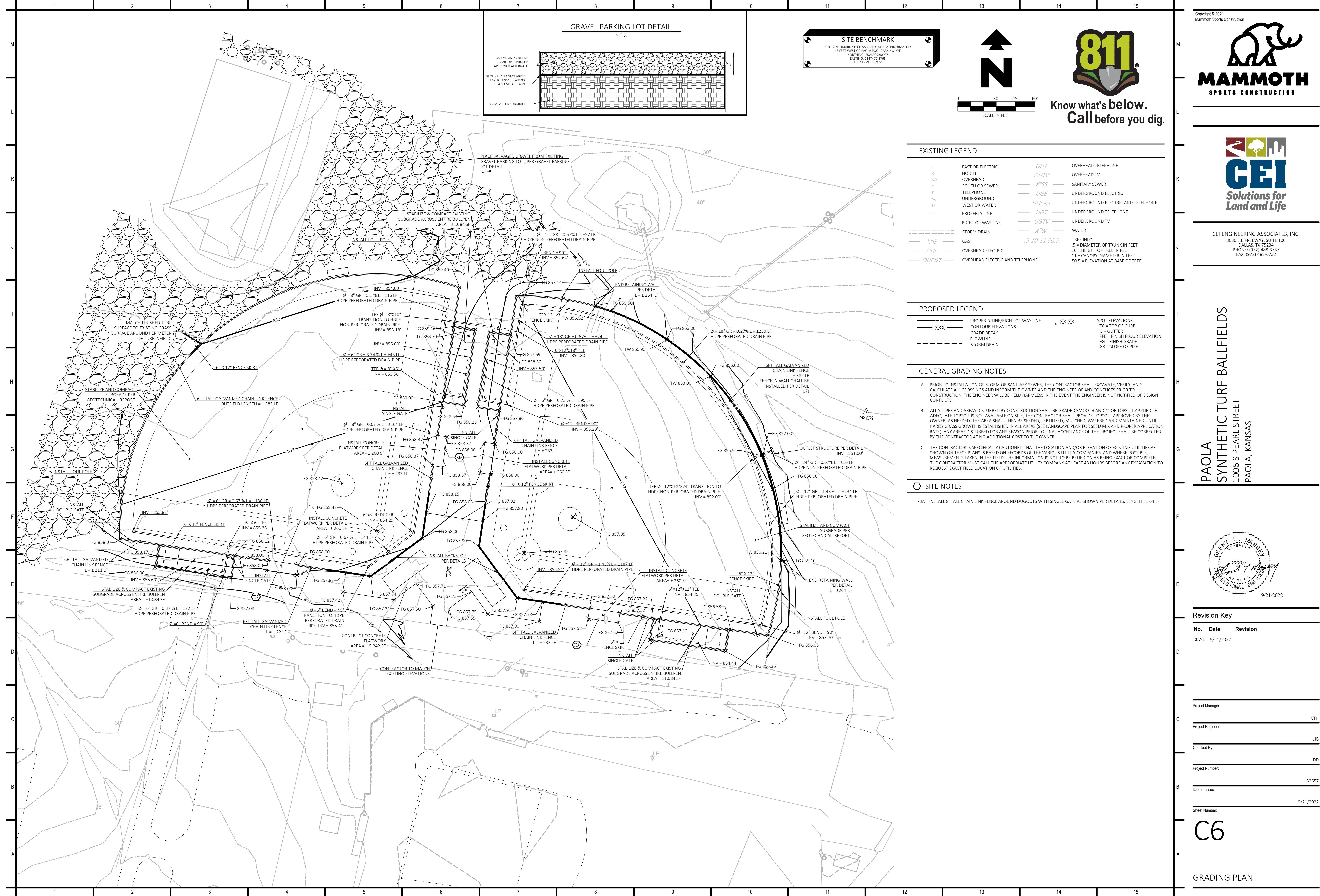
Date of Issue: 9/21/2022

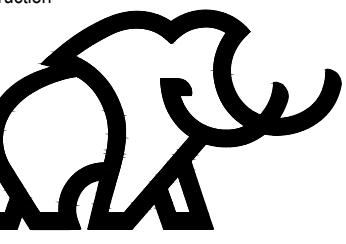
Sheet Number: 9/21/2022

C5

UTILITY PLAN







SITE BENCHMARK
SITE BENCHMARK #1: CP-553 IS LOCATED APPROXIMATELY
43 FEET WEST OF PACOLA POOL PARKING LOT.
NORTH: 3347472.8766
EASTING: 2347472.8768
ELEVATION = 859.56'

0 40' 60' 80'
SCALE IN FEET

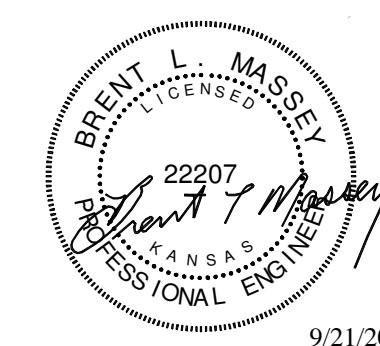
EXISTING LEGEND

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n	NORTH	— OHTV	OVERHEAD TV
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s	SOUTH OR SEWER	— UGE	UNDERGROUND ELECTRIC
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ug	UNDERGROUND	— UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	— UGTV	UNDERGROUND TV
	PROPERTY LINE	— X" W	WATER
	RIGHT OF WAY LINE		
	STORM DRAIN		
			TREE INFO
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			10 = HEIGHT OF TREE IN FEET
			11 = CANOPY DIAMETER IN FEET
			5.0 = ELEVATION AT BASE OF TREE



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3030 160 FREEWAY, SUITE 100
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PAOLA
SYNTHETIC TURF BALLFIELDS
1006 S PEARL STREET
PAOLA, KANSAS



Revision Key

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REV-1

Project Manager:

C

Project Engineer:

CTH

Checked By:

JJB

Project Number:

DD

Date of Issue:

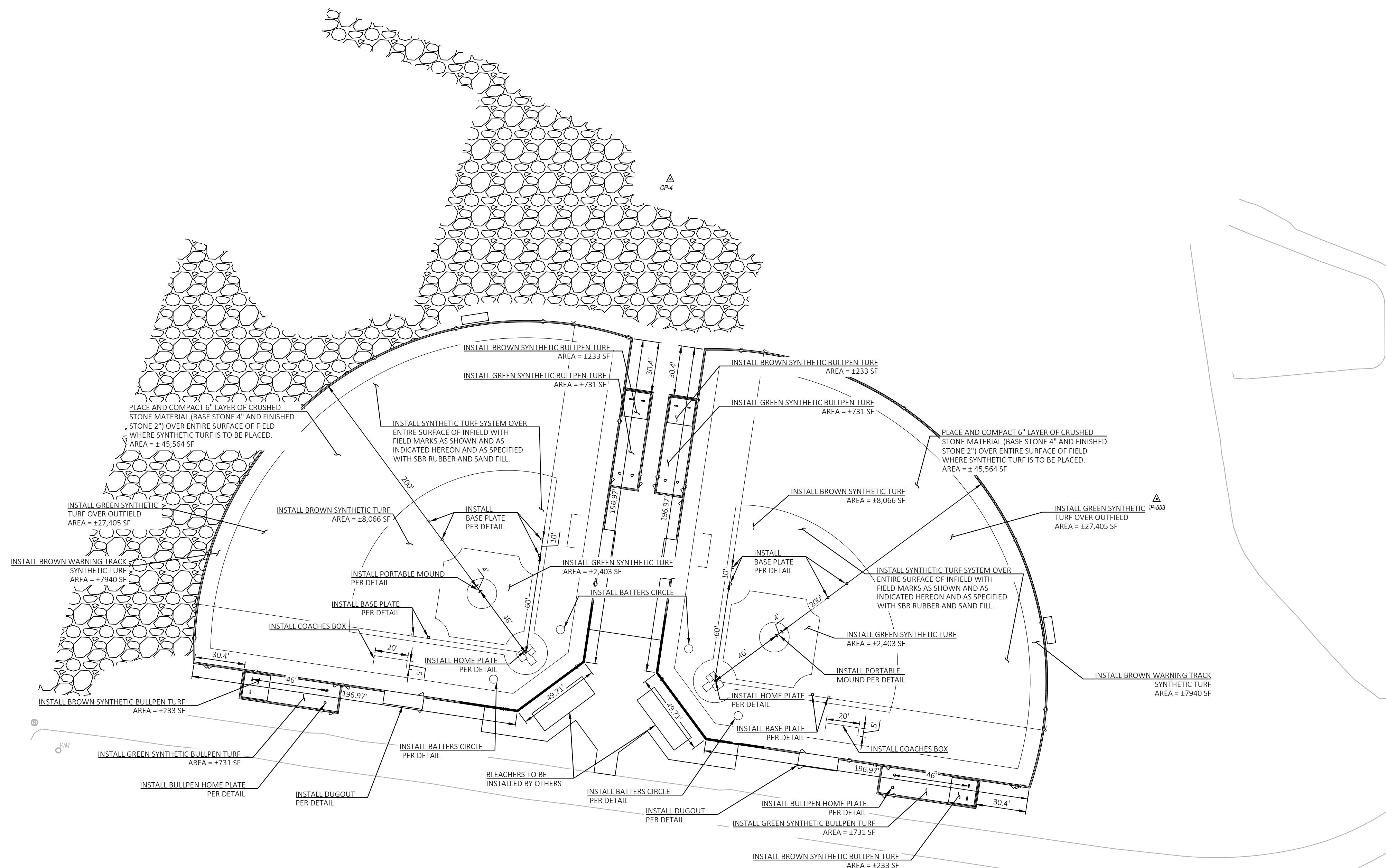
32657

Sheet Number:

9/21/2022

C7

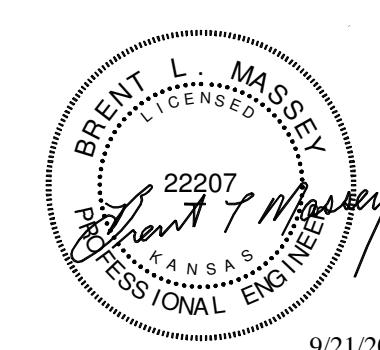
SURFACE PLAN




MAMMOTH
SPORTS CONSTRUCTION

CEI
Solutions for
Land and Life

CEI ENGINEERING ASSOCIATES, INC.
3030 LBJ FREEWAY, SUITE 100
DALLAS, TEXAS 75234
PHONE: (972) 488-3737
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PAOLA SYNTHETIC TURF BALLFIELDS
1006 S PEARL STREET
PAOLA, KANSAS


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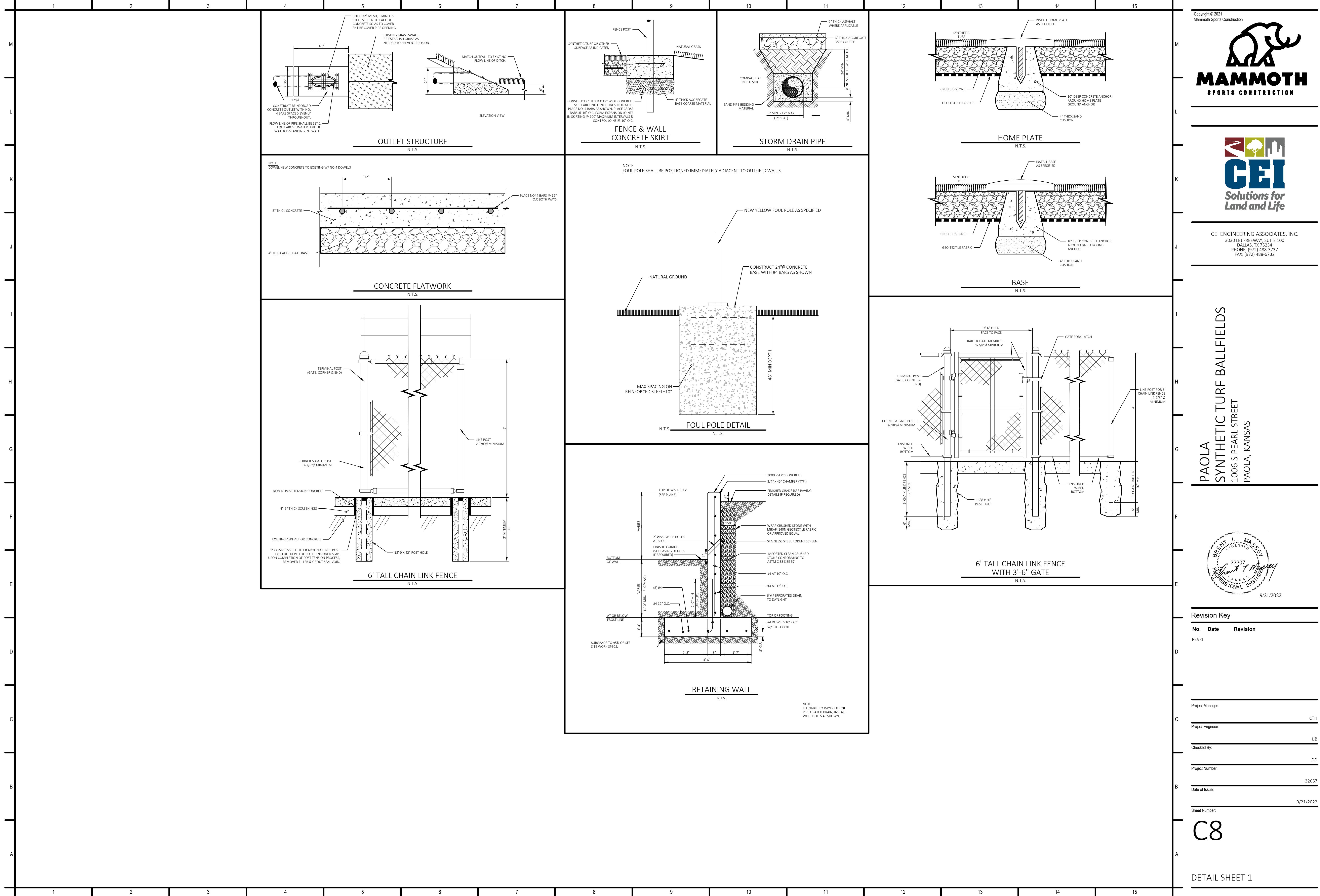
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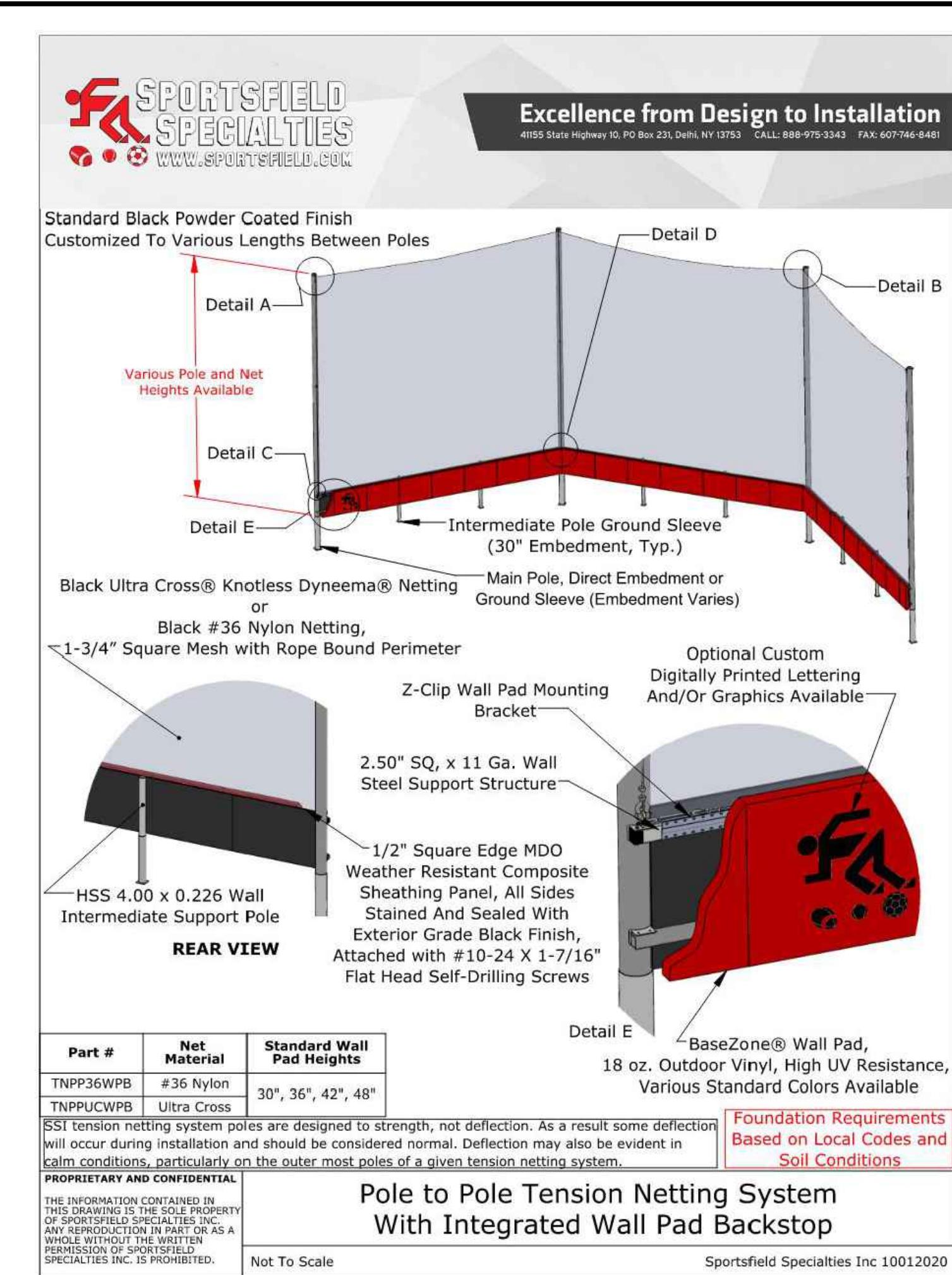
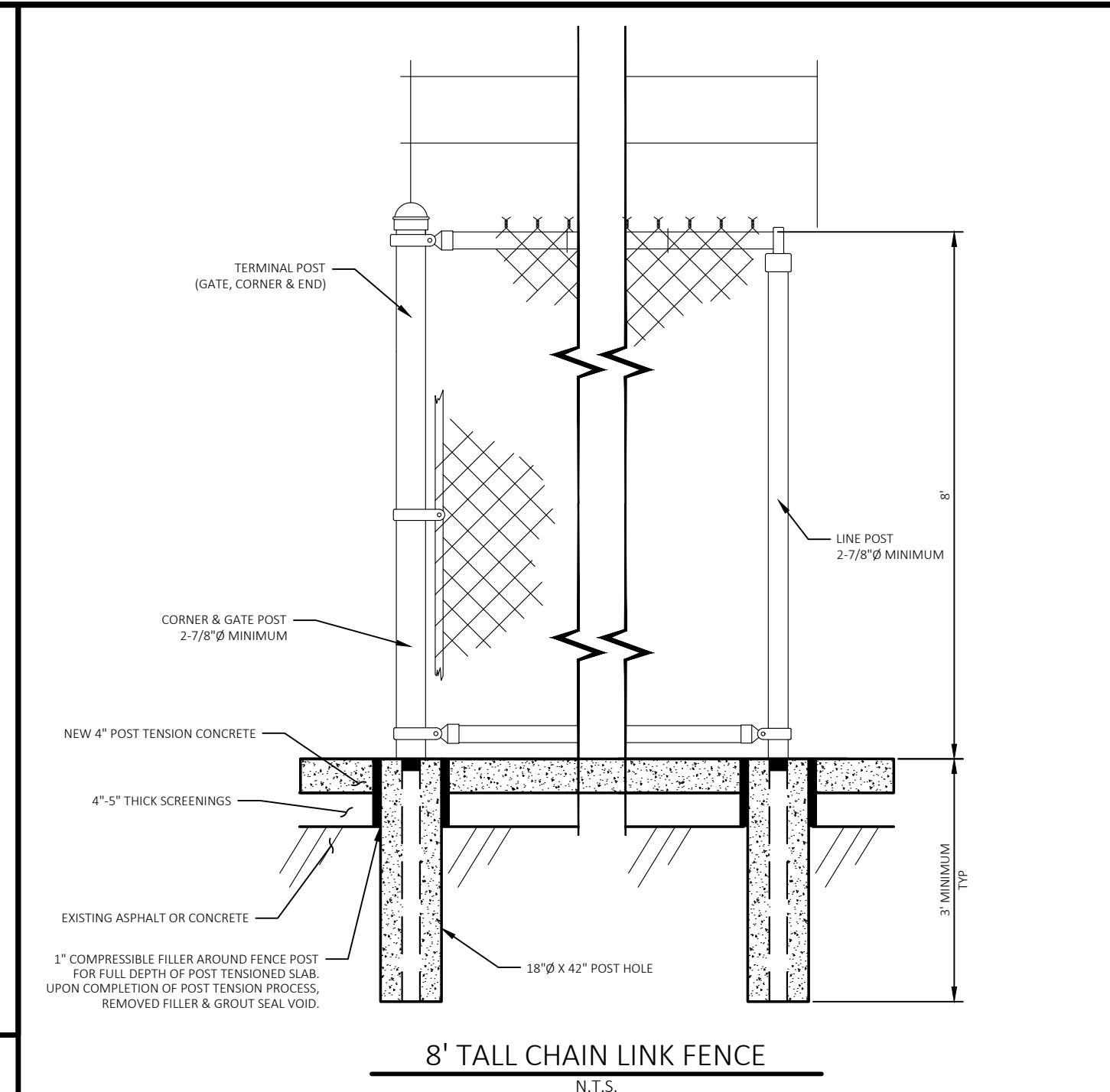
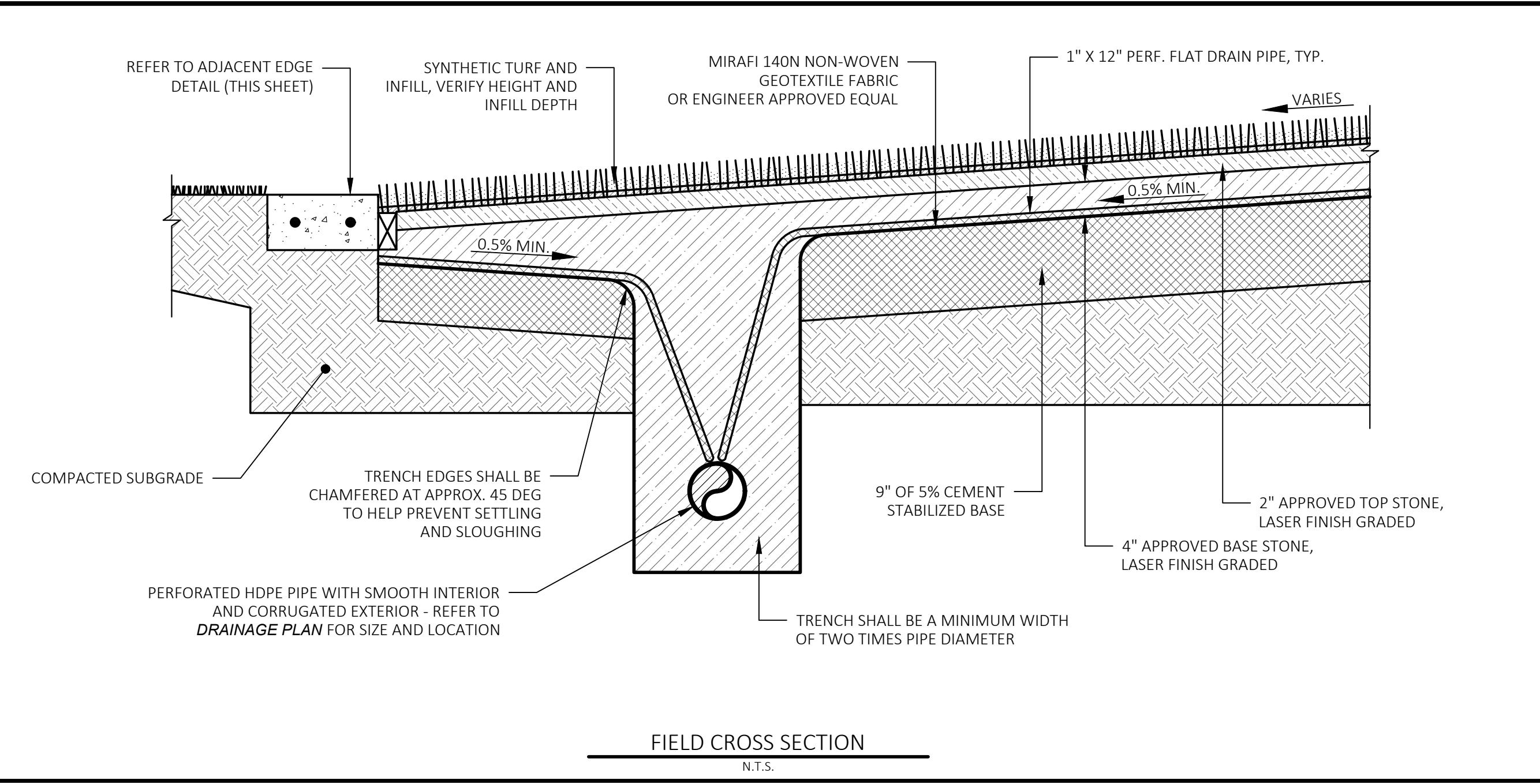
9/21/2022

Sheet Number:

C8

DETAIL SHEET 1





- OFFICIAL SIZE 24" LONG BY 6" Wide FOUR (4) SIDED PROFESSIONAL PITCHING RUBBER
- DESIGNED TO BE ROTATED IN THE PLAYING SURFACE FOR CONTINUAL USE AND LONGEVITY
- ULTRA-DURABLE MOLDED RUBBER CONSTRUCTION AROUND AN ALUMINUM CYLINDRICAL TUBE LINING TO BE FILLED WITH DIRT OR CONCRETE IN THE FIELD FOR ADDED STRENGTH AND STABILITY
- 22 LB. SHIPPING WEIGHT

FOUR WAY PITCHING RUBBER
N.T.S.

SHBBPB FOUR (4) SIDED PROFESSIONAL PITCHING RUBBER

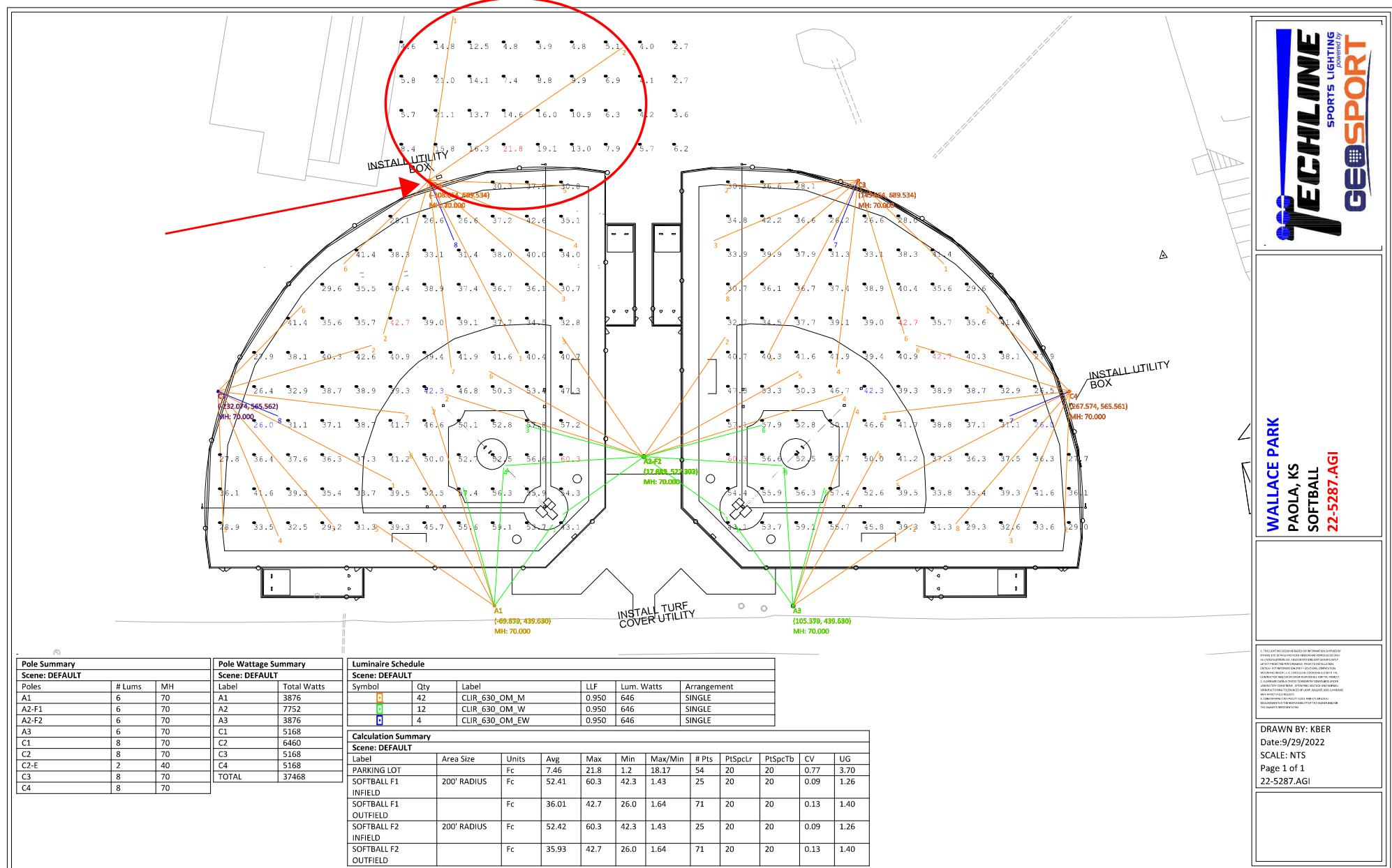
PAOLA
SYNTHETIC TURF BALLFIELDS
1006 S PARK AVENUE
PAOLA, KS 66071

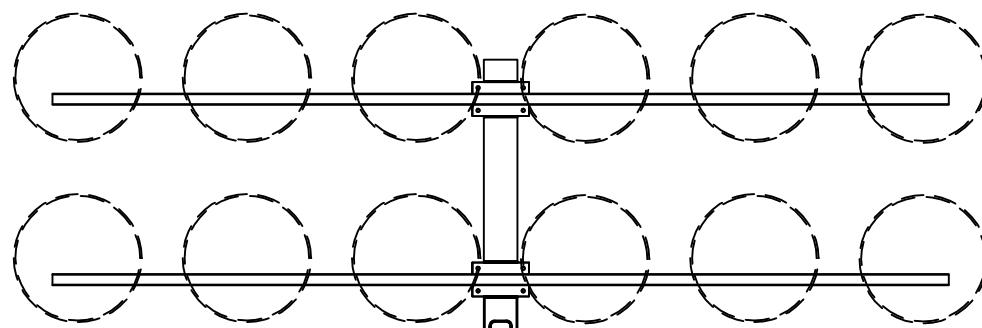
PRELIMINARY
NOT FOR
CONSTRUCTION

PROFESSIONAL OF RECORD JIB
PROJECT MANAGER CTH
DESIGNER DD
CEI PROJECT NUMBER 32657
DATE 9/21/2022
REVISION REV-1

DETAIL SHEET 3
SHEET TITLE
SHEET NUMBER

C10

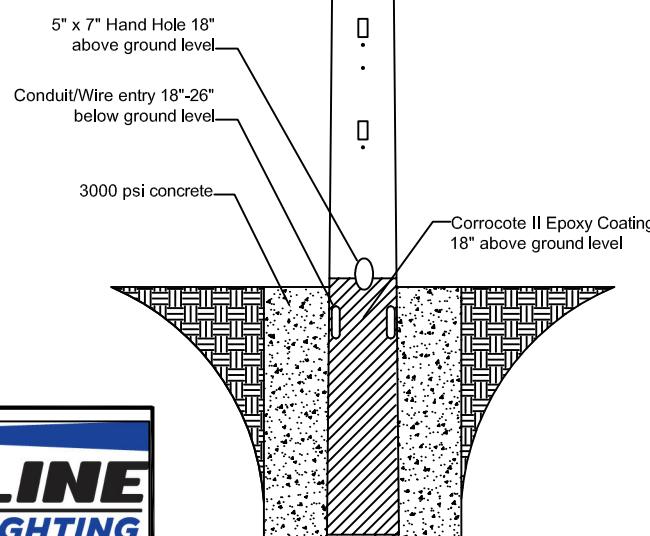




TSL75MA

Mounting Height	70' *
Overall Length	81'
Length A.G.L.	70' *
Burial Depth	11'
Tip Diameter	5.78"
Butt Diameter	17.76"
Pole Shape	Round Tapered

* dimension to bottom row of crossarm



** Hot-Dipped galvanized after fabrication to ASTM A123 specifications

** NOT TO SCALE



15303 STORM DR.
AUSTIN, TX 78734
PHONE: (512) 977-8880
TOLL FREE: (800) 500-3161
FAX: (512) 977-8882

DATE: 5-19-15	REV.: X	CHECKED BY:
DRAWING NUMBER: TSL 70-FIX	DRAWN BY: WW	

CONCRETE ENCASED
GALVANIZED STEEL POLE